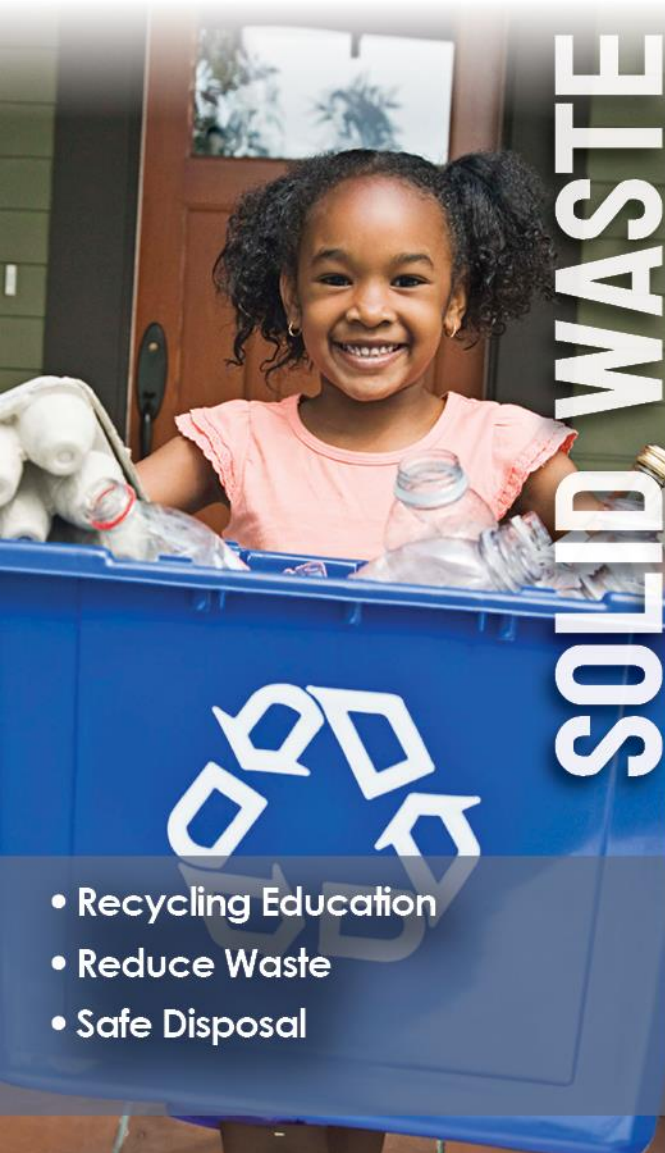




Kitsap County Public Works

Caring about your every day



SOLID WASTE

- Recycling Education
- Reduce Waste
- Safe Disposal



SEWER

- Sewage Collection
- Sewage Treatment
- Water Reuse



STORMWATER

- Reduce Flooding
- Prevent Pollution
- Restore Fish Habitat



ROADS

- Preserve Roadways
- Efficient Traffic
- Improve Safety and Capacity



Sewer Utility Division

2025 Sewer Standards Update – Introduction and Invitation for Initial Feedback

Staff Contact: Anthony Burgess, Capital Projects Manager



Kitsap County Department of Public Works



Kitsap County Department of Public Works



Agenda

- Schedule Review
- What is Sewer?
- Introduction to Standards
- Discussion of Updates
- Slides to support Discussion



Kitsap County

Department of Public Works



Planning Commission Schedule

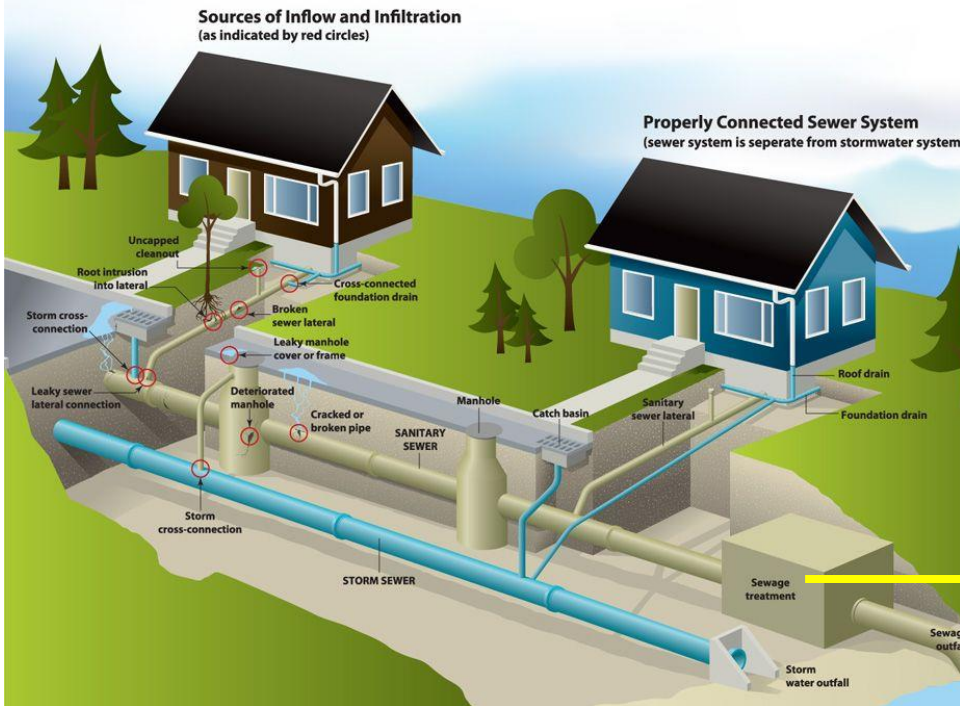
Option #1 with 2 Work Studies:

Public Works Sewer Standards						
Meeting Type:	Briefing	Work Study	Work Study	Public Hearing	Deliberations	Findings of Fact
Meeting Date:	Tuesday, 7/15/2025	Tuesday, 8/5/2025	Tuesday, 8/19/2025	Tuesday, 9/2/2025	Tuesday, 9/23/2025	Tuesday, 10/7/2025

Option #2 with 1 Work Study:

Public Works Sewer Standards					
Meeting Type:	Briefing	Work Study	Public Hearing	Deliberations	Findings of Fact
Meeting Date:	Tuesday, 7/15/2025	Tuesday, 8/5/2025	Tuesday, 8/19/2025	Tuesday, 9/2/2025	Tuesday, 9/23/2025

What is Sewer?



Kitsap County Sewer provides service to Kingston, Manchester, Central (Silverdale/Poulsbo /Bangor/Keyport), and Suquamish service areas.

- Over 220 Miles of Pipeline
- 4 Treatment Plants
- 65+ Pump Stations

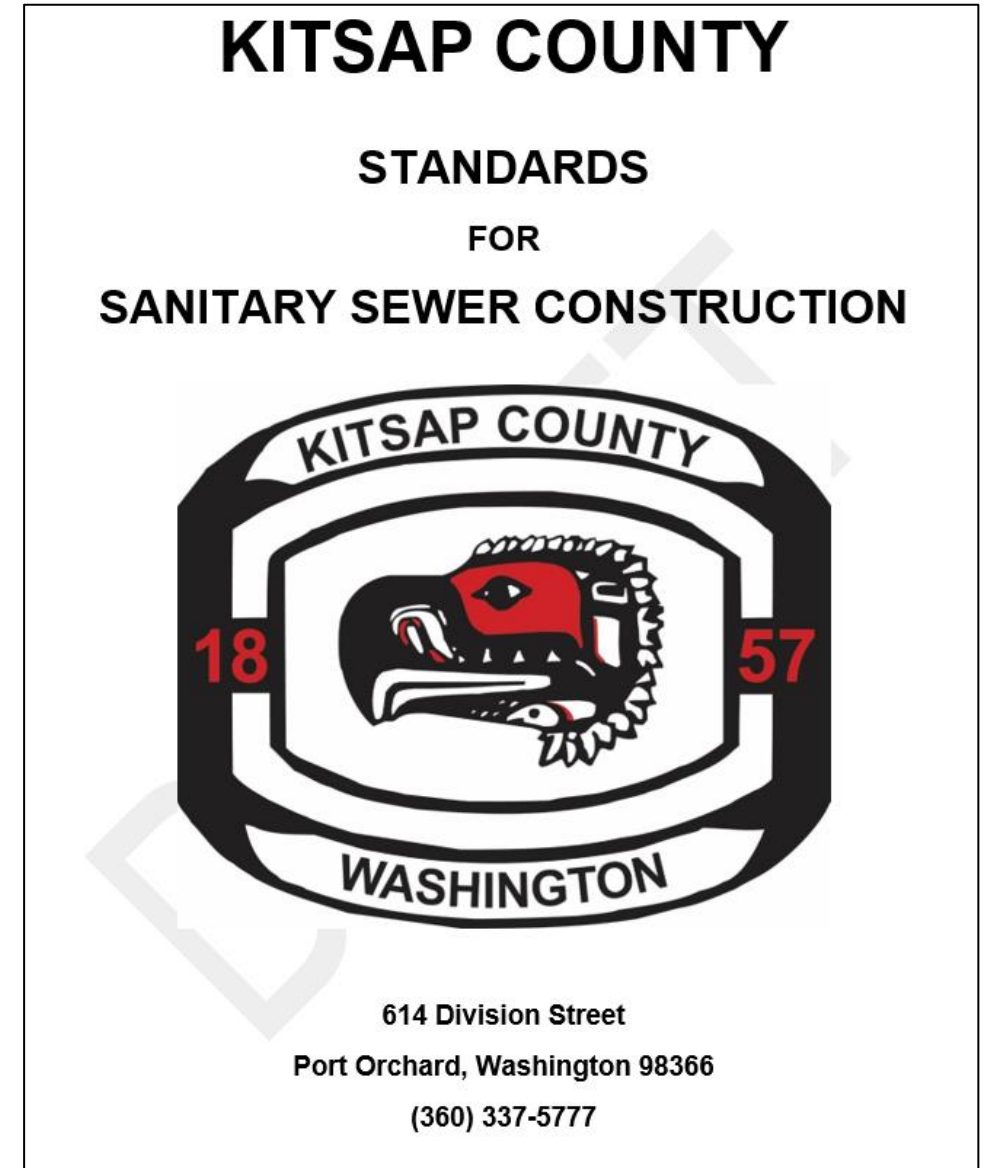


Why The Update?

- PW Sewer has not had a comprehensive update to their standards in many years.
- Requirements are not easily understood and difficult to locate.
- Some requirements are seen as barriers to development.
- Some requirements are not consistent with current construction practices.
- Several Policy Changes have occurred and have not been reflected in the standards.

What we did:

- Updated all figures to modern format.
- Included policies in the document.
- Re-organized the document to be a resource and tool for the development community.
- Expanded upon several sections to clarify grey or silent topics.
- Updated means and methods to be consistent with current construction practices and inspection requirements.
- Structured the document to be comprehensive and reduce ambiguity.
- Will bring the document to Planning Commission in 2 parts.



An update in (2) parts:

- Priority 1: Jurisdiction means and methods.
 - These are industry specific requirements that are not meant to be open for exhaustive public deliberation.
 - These means and methods directly correlate to system operation, maintenance safety, and ensure longevity of public infrastructure.
 - There is a great deal of information within the document that must be updated as written
- Priority 2: Focusing on Development Issues
 - These are new or expanded ideas which are discretionary and change jurisdiction to jurisdiction.
 - These specific development regulations include policies, or other allowances that are not outright covered in WSDOT or Ecology guidance documents.
 - Each of these topics will be discussed within the upcoming work study.
 - These standards have been shared with and presented to the Kitsap Builders Association in hopes of receiving constructive commentary prior to our 1st workshop.

KITSAP COUNTY

STANDARDS

FOR

SANITARY SEWER CONSTRUCTION



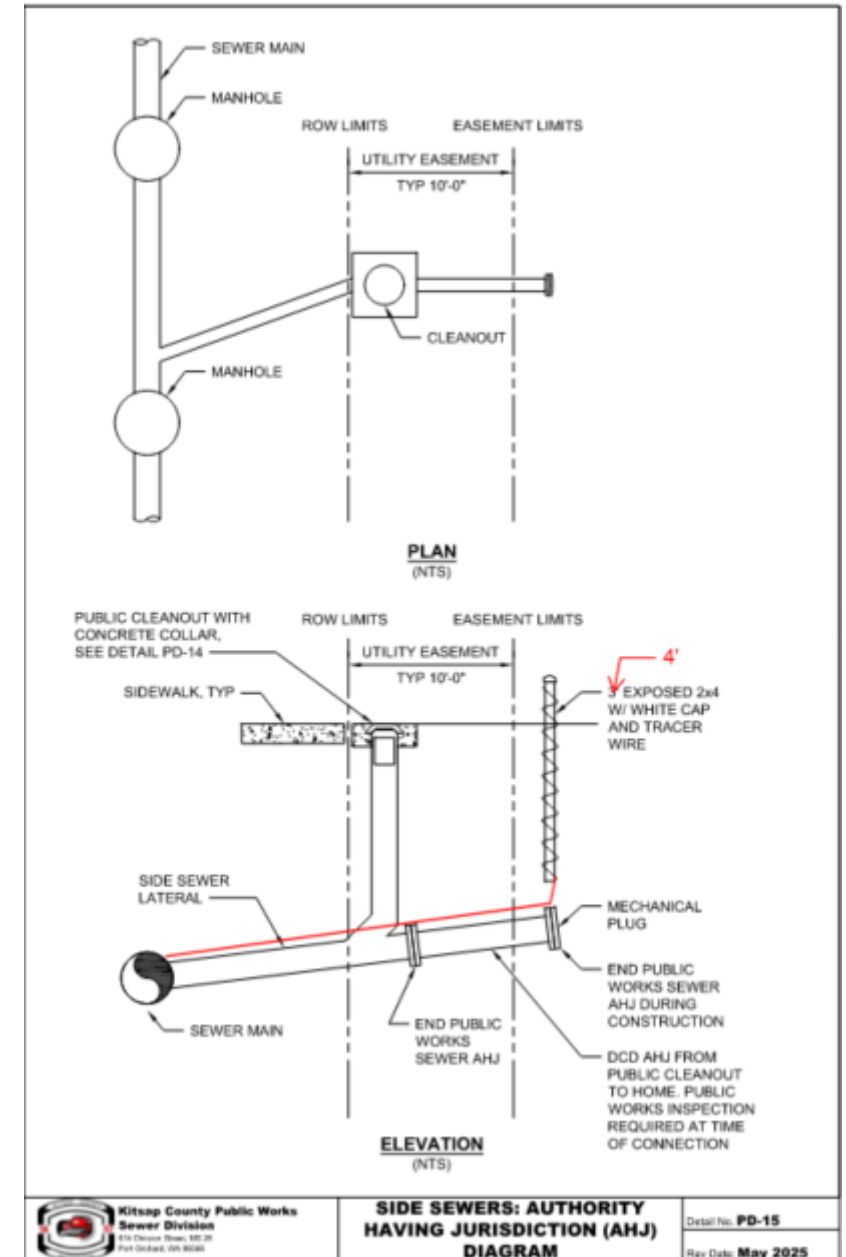
614 Division Street

Port Orchard, Washington 98366

(360) 337-5777

Part 1: Jurisdiction Means and Methods

1. Revised conveyance system details to be more consistent with capital project construction means and methods.
2. Formalized Lift Station Minimum Requirements.
 - a) Expanded details, specifications, and procedures
 - b) Bonding dependent on basin buildout similar to stormwater ponds.
3. Allowance for contractor installation of connection to existing gravity lines (typ.).
4. Provided reference to Ecology manual for alternative trenching techniques.
5. Added new details for transition of some authorities to DCD.
6. Requirement for public cleanouts to be in cast iron with concrete collar.
7. Many others within the document and details, primarily a cleanup effort and expansion on detail describing how to construct public sewer systems.



Part 2: Focusing on Development Issues

1. Included Several new Policies statements for the following:
 - a) Prohibition of Septic System conveyance to County.
 - b) Pipe installed within private roadways will not be dedicated to the County.
 - c) Blockages without a cleanout at ROW edge.
 2. Increased easement width requirements and manhole width requirements depending on structure depth.
 3. Increased installation requirements for pipe zone bedding, compaction.
 4. Increasing the max. # of IPS connections from 10 to 15 before a lift station is required.
 5. Specified minimum site requirements for Developer built Lift Stations.
 6. Reduced tolerance of “bellies” in gravity pipelines.
- Each Topic was Discussed with Kitsap Builders Association July 10th 2025 and are highlighted in the Draft Standards.



Section 1: General Requirements

1.1 General

The County will not inherit, own, or operate septic systems.

Systems constructed in private roadways or within commercial and residential private property will not be dedicated to the County and will remain under private ownership.



Key Takeaways:

- Sewer does not inherit pipe constructed on commercial private property.
- Focus of this discussion is regarding extending this policy to private roads.

KBA 7/10/25:

- Concerned with long term cost to homeowners.
- Disc. of current risks to County with existing Policy

Section 1: General Requirements

1.1 General

The County will not inherit, own, or operate septic systems.

Systems constructed in private roadways or within commercial and residential private property will not be dedicated to the County and will remain under private ownership.

1.5 Easements

The required minimum easement widths centered on the sewer main shall be as follows:

1. 15 feet wide easement for standard sewer depths up to 10 feet below ground surface.
2. 20 feet wide easement for sewer depths between 10 and 15 feet below ground surface.
3. For sewer depths greater than 15 feet below ground surface, easement width shall be determined by the County on a case-by-case basis.

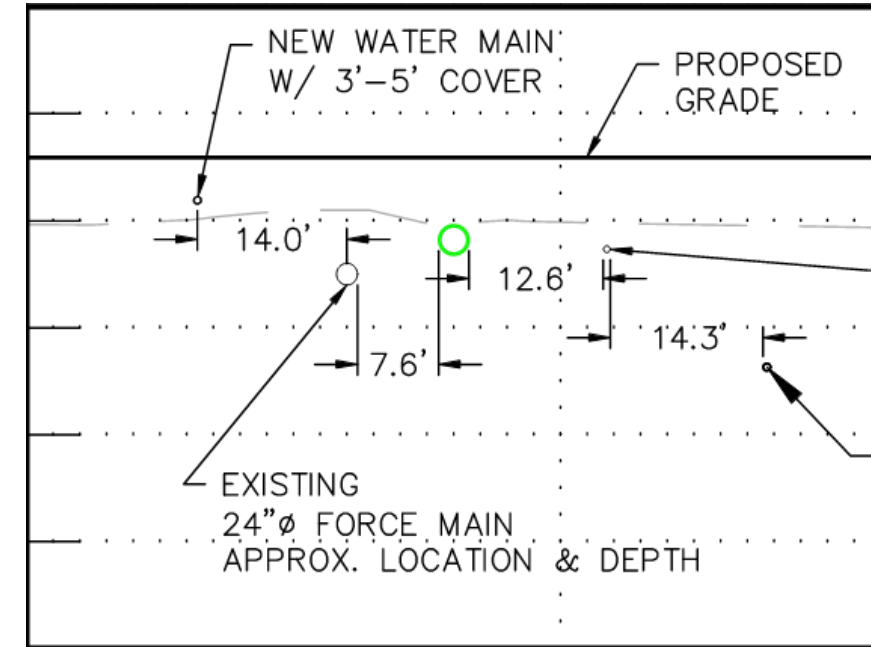
1.7 Blockages

1.7.1 General

If there is a blockage, it is the customer's responsibility to report it to the Department of Public Works at (360) 337-5777 during regular business hours (Monday-Friday from 8:00 AM-4:00 PM). Call 911 for urgent or after hour problems.

- If no cleanout is present at the right-of-way, easement edge, or Property line, it is the customer's responsibility to prove to Public Works that the blockage is in the right-of-way, easement, or past the property line and within the public right-of-way. The County will not enter onto private property or into residences to assist with locating efforts. Rodding companies may be able clear the line. If attempts to clear the line are unsuccessful, accurate electronic locates, both where the blockage exists and where the sanitary sewer lateral meets the right-of-way, must be performed and clearly marked.

If a blockage is determined to be within the public right of way, the County will respond accordingly. The customer will then be required to construct a cleanout at the Property Line.



SECTION A-A

SCALE: 1"=20'

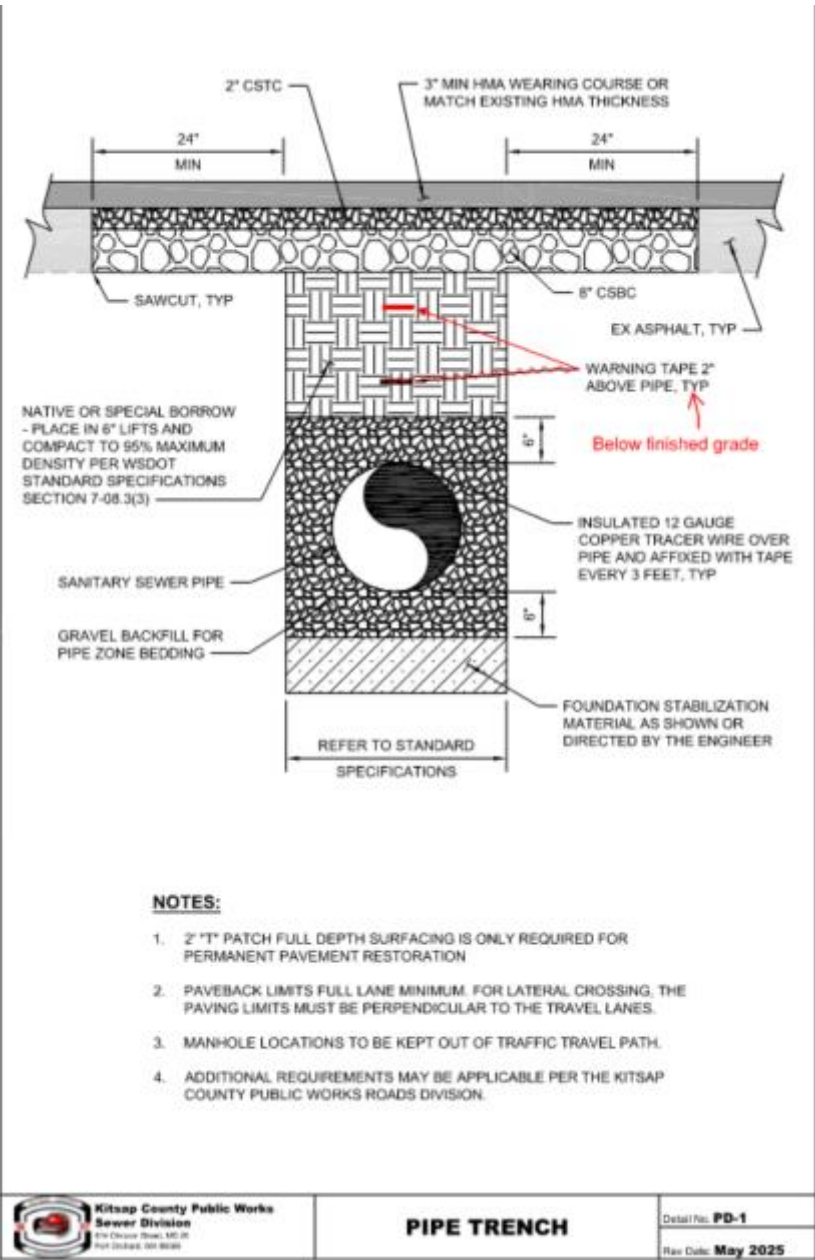
3.3 Materials

Pipe bedding and trench requirements shall be as indicated in County Standard Detail PD-1 Typical Trench Section. Backfill lifts shall be no greater than 12 inches and each lift shall be compacted to the required compaction. "Haunching" will be required around the pipe zone to ensure proper compaction.

Pipe foundation stabilization material for both flexible and rigid pipe shall be imported material conforming to WSDOT Standard Specifications Section 9-03.17, Class B.

The use of pea gravel for pipe zone bedding and pipe zone backfill is not permitted.

Unauthorized use of pea gravel will result in re-excavation of the imported material. The County may consider the use of pea gravel for special cases on a case-by-case basis Should the use of pea gravel be allowed, approval may require the installation of trench check dams as indicated in the County Standard Detail PD-3 Check Dam.



6.2.2 Design Considerations

Only one grinder pump station is allowed per lot and the property owner shall be responsible for maintaining the grinder pump station and the force main on their property by means of a recorded covenant on the title.

Developments proposed with private roadways may be served with a common force main serving no more than 15 Equivalent Residential Units (without possibility of future expansion). These developments will be required to construct the common force main to the public standard however, will remain in private ownership and will not be maintained by the County. A redundant pig launch is required at the Right of Way Edge. These developments will be required to record a maintenance covenant against each parcel served by the common force main designating perpetual O&M requirements for the system and show evidence of a maintenance contract for the system to the County before final development permit closeout.

Developments proposed with public roadways may be served with a common force main serving no more than 15 Equivalent Residential Units (without possibility of future expansion so long as all public standards are met.

Developments relying on pressurized sewer to serve between 16 and 20 Equivalent Residential Units, must construct a lift station. No generator set is required, but a storage tank is required.

Developments relying on pressurized sewer to serve 21 or more Equivalent Residential Units must construct a lift station with a permanent generator set.

The Developer shall submit information from the material manufacturer or fabricator showing that the materials meet the requirements of the design and pertinent specifications. The Developer shall provide submittals to the County on all materials to be used.

Grinder pump structure and force main shall comply with the standards for manholes, trench excavation and backfill. Grinder pump station shall be installed as recommended and required by the Manufacturer, while following all County standards.

Key Takeaways:

- Previous cap was 10 IPS systems.
- Change to 15 ERUs supports current zoning density allowances in Urban Low Zoning
- Is a 1st step towards further density support.

KBA 7/10/25:

- Asked KC Sewer to explore a higher limit
 - Disc. of risks to County if Public
 - Disc. of risks to Homeowners if Private

Section 8: Site Requirements

8.1 Site Layout and Information

Site Requirements: The size of a proposed pump station site will vary depending on the facility configuration and access requirements. Design criteria includes the following:

1. A minimum of 50 ft separation from the pump station structure (i.e., wet well/dry well) should be provided to the property line and/or adjacent facilities.
2. The maximum slope for access roads should be 12%.
3. Vaults should be designed to avoid designation as a confined space. Vaults that are six feet or deeper should have stairways or installed ladders with extensions per OSHA standards. A concrete pad that is suitable for confined space personnel retrieval equipment shall be placed around all vaults.
4. Facilities should be oriented according to prevailing wind direction and to minimize potential for hydrogen sulfide gases entering control building intake grills or electrical panels whenever possible.
5. Facilities should be oriented to provide satisfactory access to all components of the facility and avoid potential for vehicle conflict.
6. All site plans must include final details of Lift Station site layout before final approval.
7. Minimum tract/parcel area for a Lift Station shall be 50 ft x 50 ft unless a developed site plan is provided.



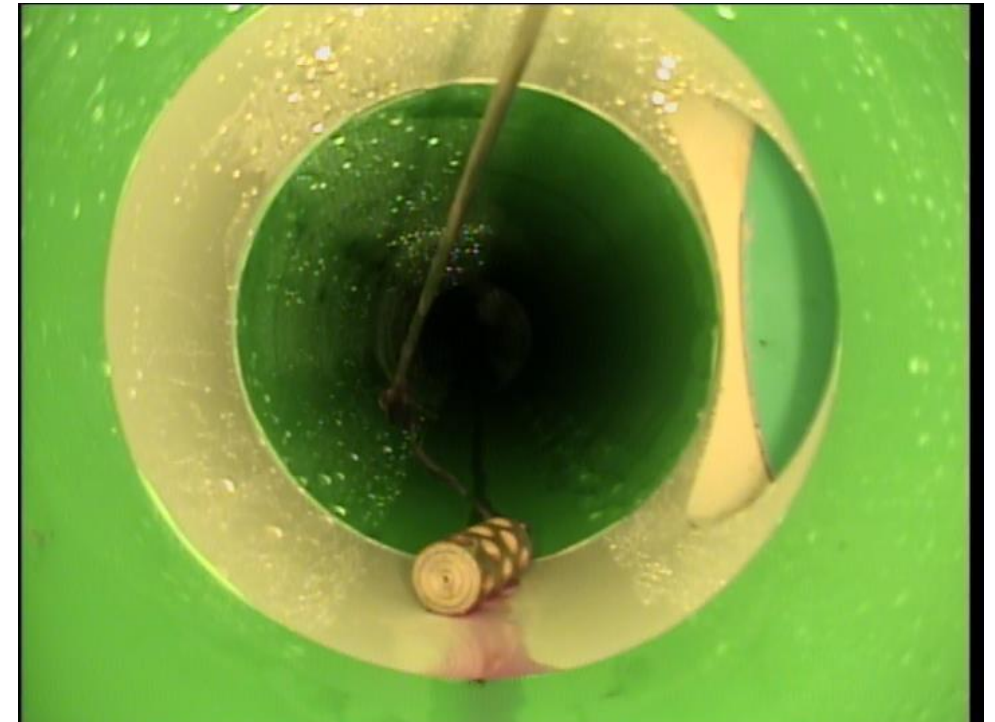
13.2 Television Inspection

All gravity sanitary sewer lines shall be inspected by the use of a television camera before final acceptance. The costs incurred in making the initial inspection shall be included in the initial inspection fee charged by the County for the project.

The Developer shall bear all costs incurred in correcting any deficiencies found during television inspection including the cost of any additional television inspection that may be required by the County to verify the correction of said deficiency.

The Developer shall be responsible for all costs incurred in any television inspection performed solely for the benefit of the Developer.

The Developer shall make every effort to avoid bellies in the sewer pipe. Any inadvertent belly shall not exceed 1/8 inch. Bellies that exceed 1/8-inch shall be repaired by the Developer at the Developer's expense.





Questions / Comments

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(360)981-1767



Kitsap County Department of Public Works



Option #1: Discuss document and make a motion to move forward to a Public Hearing.

Option #2: Discuss changes and continue discussions in a second workshop.