

NAVD 88
SCALE: 1" = 20'



Know what's below.
Call before you dig.

Portion of the Northeast Quarter of the Northwest Quarter
Section 11, Township 23 North, Range 1 West, W.M.
in Kitsap County, Washington

TOTAL IMPERVIOUS TO BE REMOVED (EXCLUDING UTILITY TRENCHING): 2,157 SQ. FT.
TOTAL REPLACED WITH PERVIOUS PLANTED AREAS: 539 SQ. FT.
TOTAL NEW AND REPLACED IMPERVIOUS: 1,618 SQ. FT.

TURF FIELD AREA

LEGEND

- CATCH BASIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- NLO CONTROL POINT AS DESCRIBED
- SANITARY SEWER CLEANOUT
- DOWNSPOUT
- UTILITY POLE
- STORM DRAIN
- DITCH FLOW LINE
- SANITARY SEWER
- FENCE LINE
- WATER LINE
- CONCRETE
- PLANTER

INDEX:

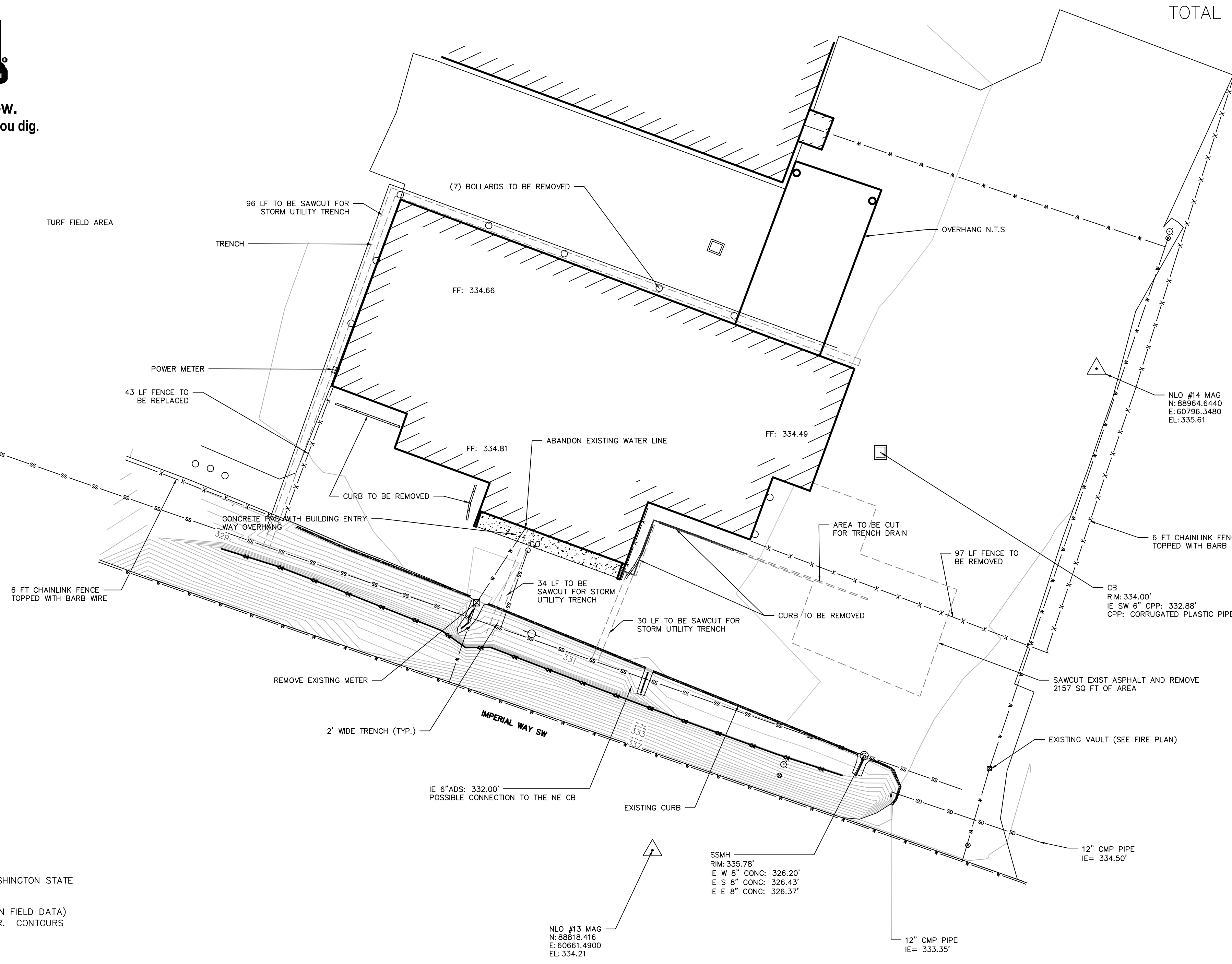
- C1. EXISTING CONDITIONS
- C2. PROPOSED PARKING CONDITIONS
- C3. PROPOSED STORM CONDITIONS
- C4. PROPOSED WATER AND SEWER CONDITIONS
- C5.-C6. DETAILS

NOTES:

1. HORIZONTAL DATUM: NAD 83/2011 (WA NORTH ZONE).
2. VERTICAL DATUM: NAVD88
3. TIES TO DATUM WERE ESTABLISHED BY GNSS OBSERVATIONS USING THE WASHINGTON STATE REFERENCE NETWORK AND GEOID12B. SEE MAP FOR BENCHMARKS.
4. CONTOURS SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY (BASED ON FIELD DATA) PERFORMED IN JANUARY OF 2023 WITH A TARGET ACCURACY OF 1/2 CONTOUR. CONTOURS ARE COMPUTER GENERATED.
5. NO UTILITY LOCATES WERE USED FOUND FOR THIS SURVEY
6. BOUNDARY SHOWN HERE IS PER GIS DATA

PRACTICE/PROCEDURES

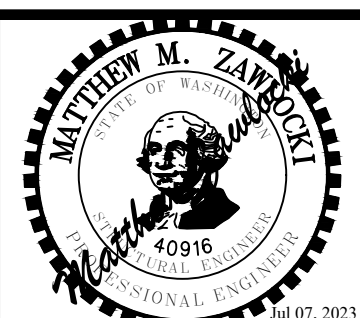
SP80 GPS AND RANGER 7 DATA COLLECTOR USED FOR GPS TIES TO SURVEY CONTROL. CONVENTIONAL SURVEY WAS PERFORMED BY FIELD TRAVERSE WITH A SPECTRA PRECISION FOCUS 35 TOTAL STATION. FINAL RESULTS MEETING OR EXCEEDING THE CURRENT TRAVERSE STANDARDS CONTAINED IN W.A.C. 332-130-090.



REVISIONS			
NO.	DATE	BY	DESCRIPTION

BY	DATE
DESIGNED MZ	2/23
DRAWN IO	2/23
CHECKED	
APPROVED	
ACCEPTED	

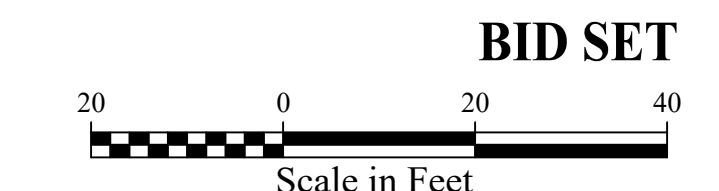
N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

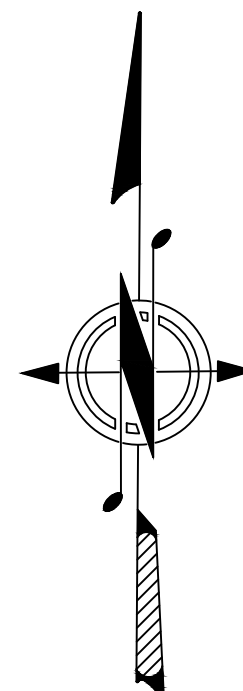


EXISTING CONDITIONS/DEMO PLAN
KCDEM Tenant Improvement
8900 SW Imperial Way
Bremerton, WA

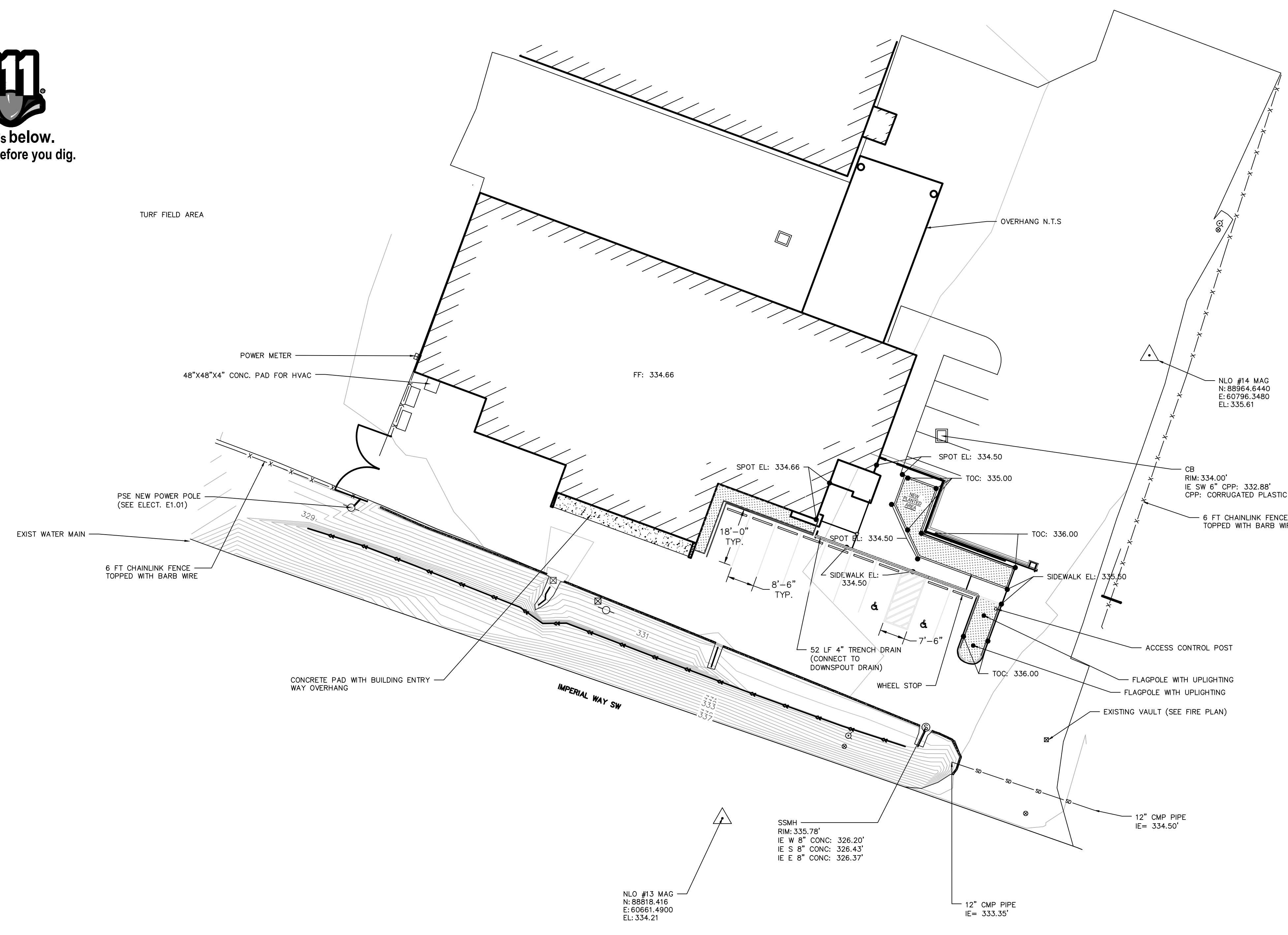
FOR: **Bau Architects**
Attn: Jim Baurichter
1230 Bay St. Ste 110
Port Orchard, WA 98366

SCALE: 1" = 20'
DATE: JULY 7, 2023
DRAWING NUMBER
12454
SHEET C1 OF 6



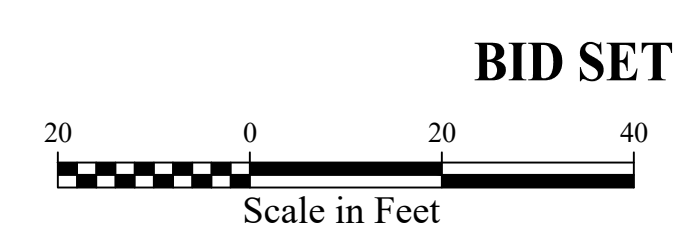


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LEGEND

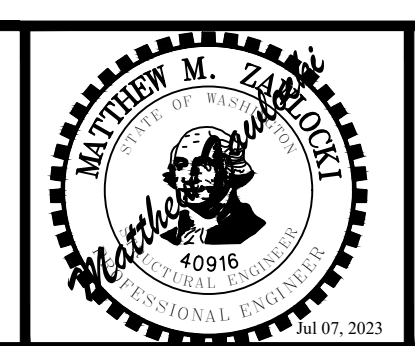
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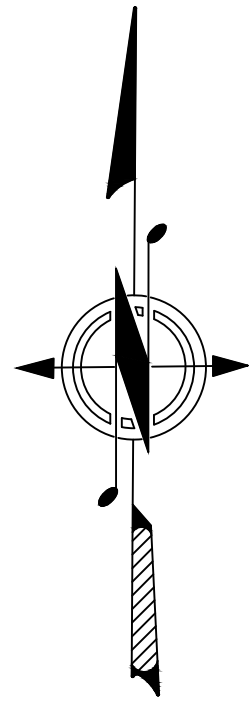
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PROPOSED PARKING CONDITIONS
KCDem Tenant Improvement
8900 SW Imperial Way
Bremerton, WA

FOR: **Bau Architects**
Attn: Jim Baurichter
1230 Bay St. Ste 110
Port Orchard, WA 98366

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SHEET C2 OF 6



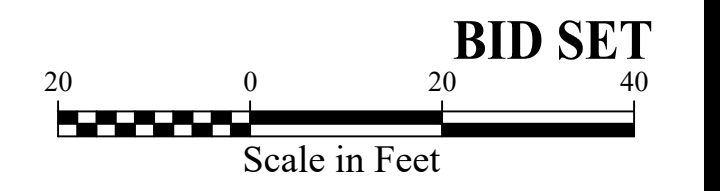
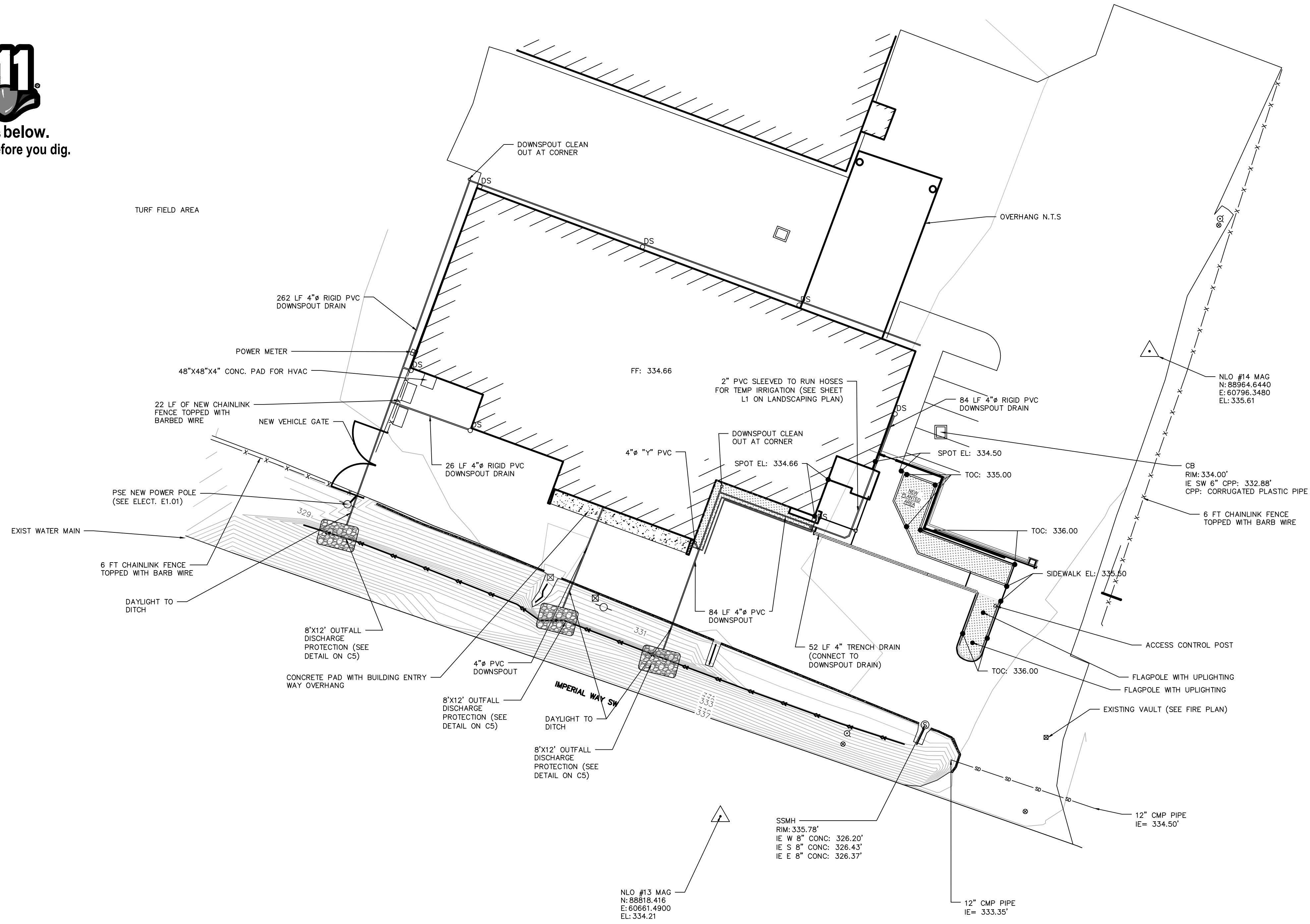
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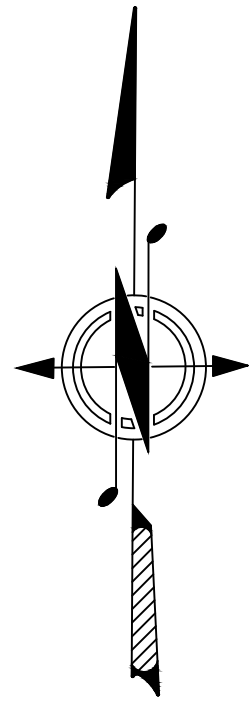
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PROPOSED STORM CLEANOUT CONDITIONS
KCDEM Tenant Improvement
8900 SW Imperial Way
Bremerton, WA

FOR: **Bau Architects**
Attn: Jim Baurichter
1230 Bay St. Ste 110
Port Orchard, WA 98366

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SHEET C3 OF 6



NAVD 88
SCALE: 1" = 20'



Know what's below.
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TURF FIELD AREA

POWER METER

48"x48"x4" CONC. PAD FOR HVAC

FF: 334.66

OVERHANG N.T.S.

NLO #14 MAG
N: 88964.6440
E: 60796.3480
EL: 335.61

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- - - WATER LINE
- ▨ CONCRETE
- ▨ PLANTER

EXIST WATER MAIN

PSE NEW POWER POLE
(SEE ELECT. E1.01)

6 FT CHAINLINK FENCE
TOPPED WITH BARB WIRE

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CONCRETE PAD WITH BUILDING ENTRY
WAY OVERHANG

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SPOT EL: 334.66

SPOT EL: 334.50

TOC: 335.00

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SSMH
RIM: 335.78'
IE W 8" CONC: 326.20'
IE S 8" CONC: 326.43'
IE E 8" CONC: 326.37'

NLO #13 MAG
N: 88818.416
E: 60661.4900
EL: 334.21

CB RIM: 334.00'
IE SW 6" CPP: 332.88'
CPP: CORRUGATED PLASTIC PIPE

6 FT CHAINLINK FENCE
TOPPED WITH BARB WIRE

ACCESS CONTROL POST

FLAGPOLE WITH UPLIGHTING

FLAGPOLE WITH UPLIGHTING

EXISTING VAULT (SEE FIRE PLAN)

12" CMP PIPE
IE= 334.50'

12" CMP PIPE
IE= 333.35'

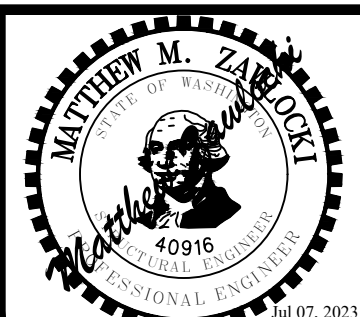


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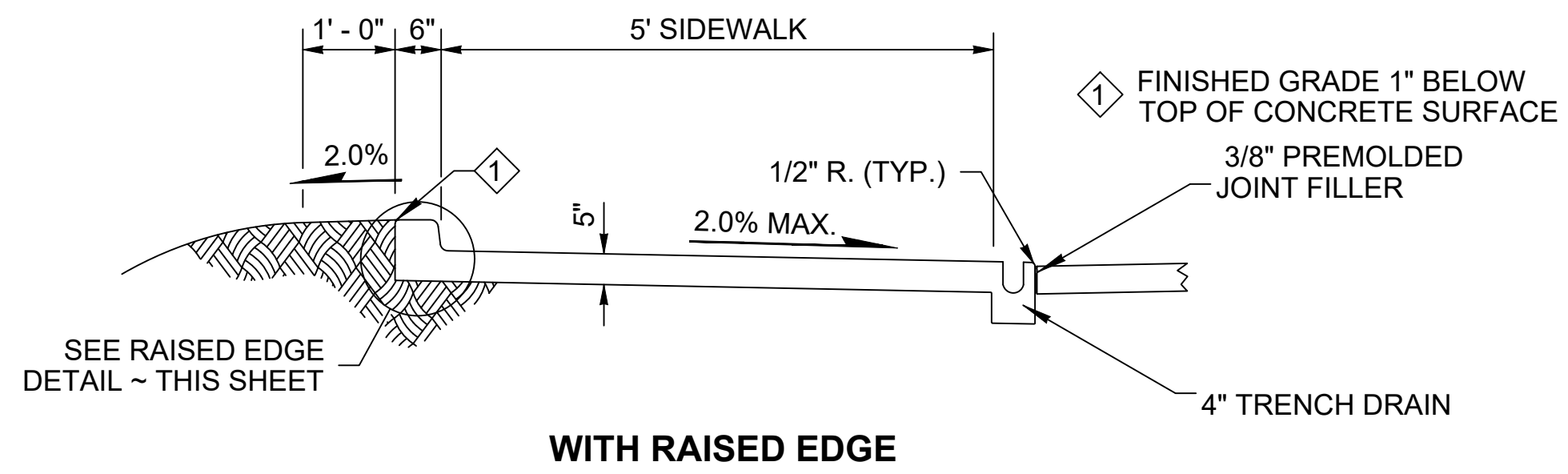
PROPOSED WATER AND SEWER CONDITIONS

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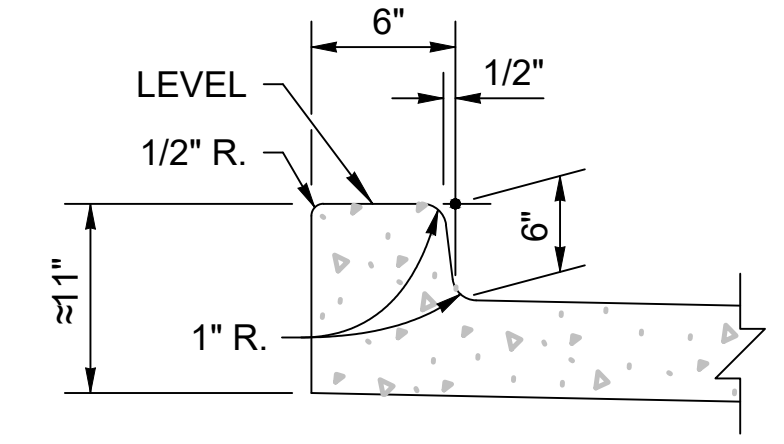
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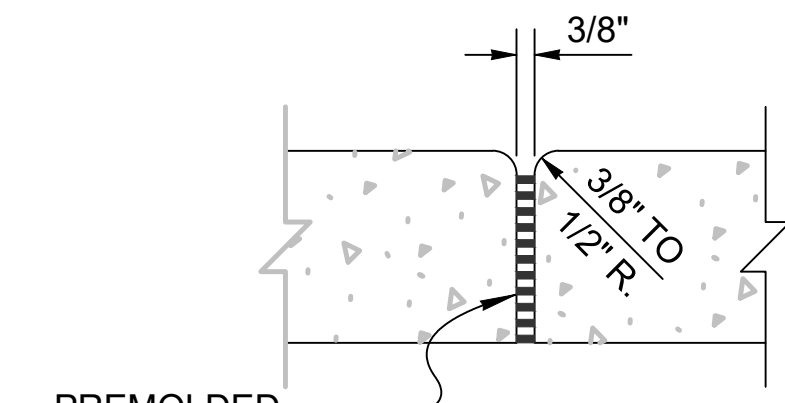
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SHEET C4 OF 6



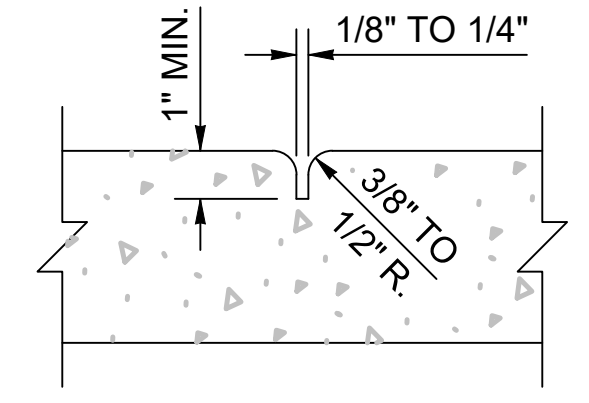
WITH RAISED EDGE



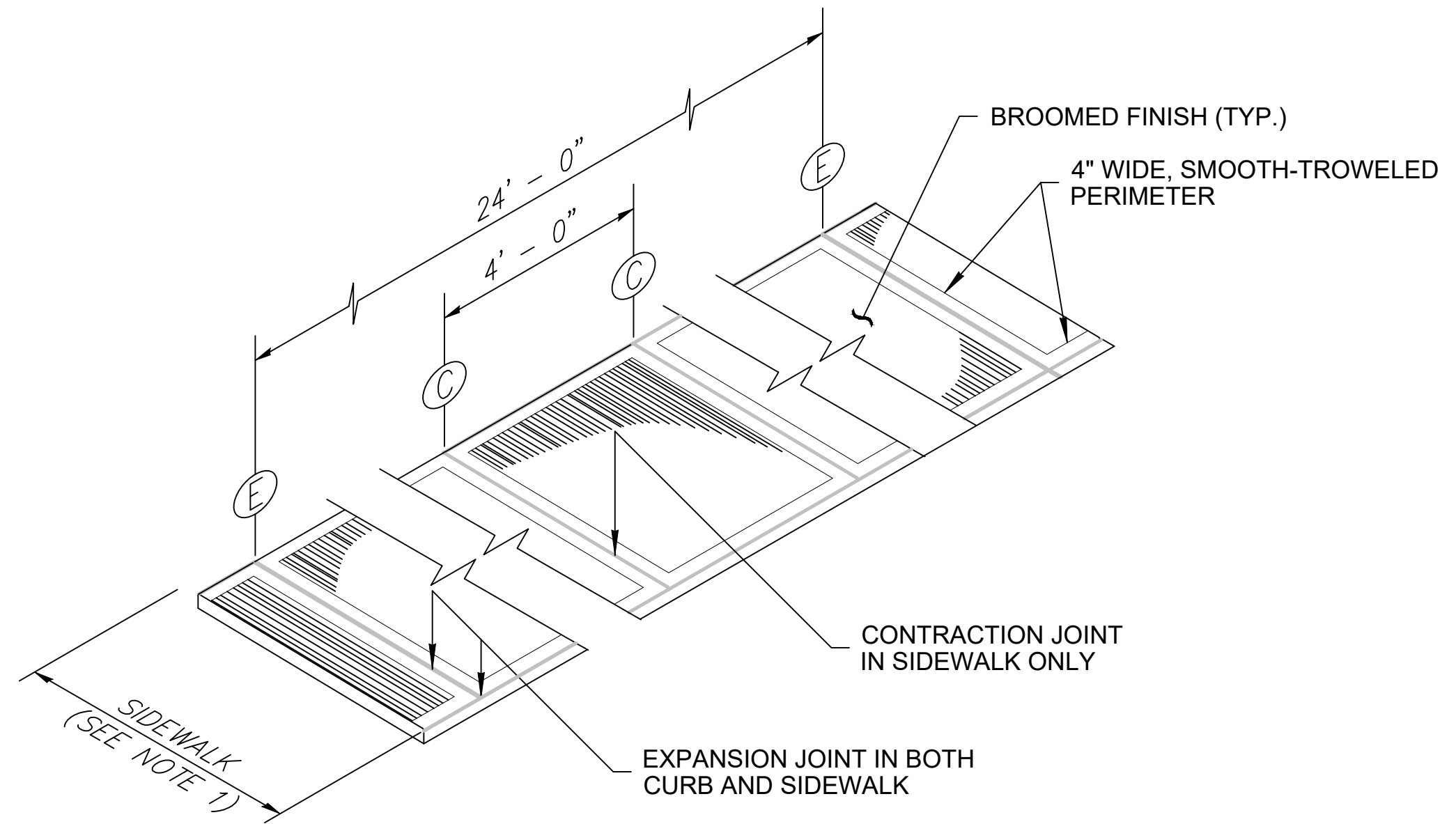
RAISED EDGE DETAIL
EXTEND SIDEWALK TRANSVERSE JOINTS TO INCLUDE RAISED EDGE



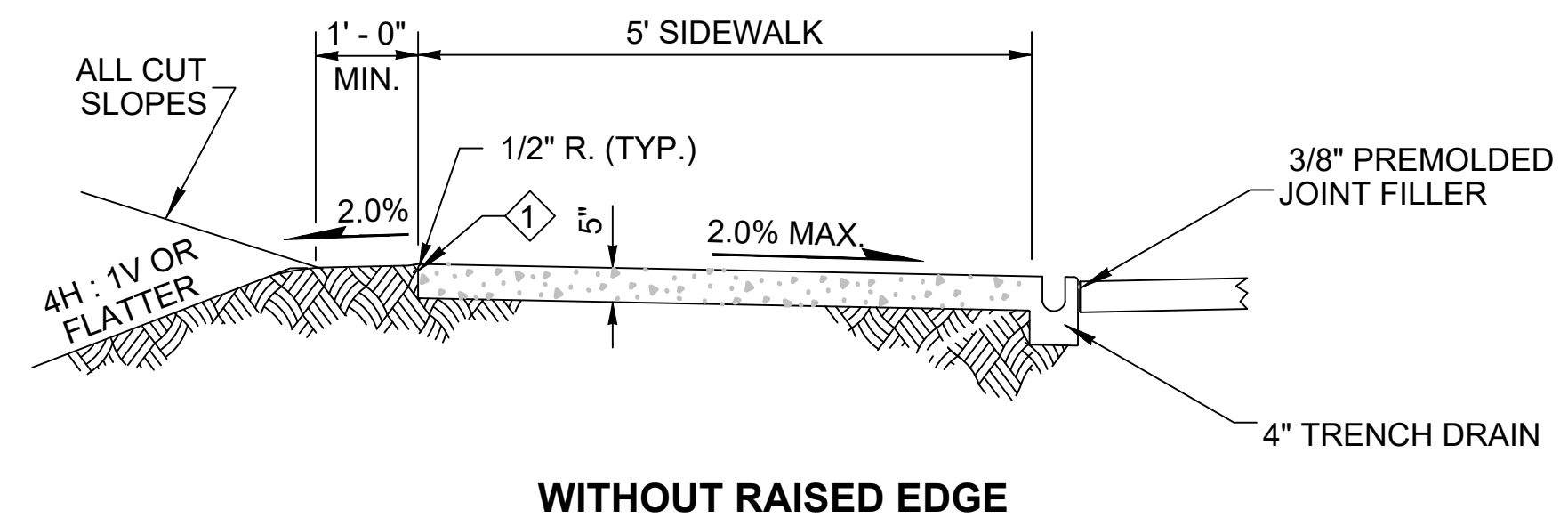
E EXPANSION JOINT



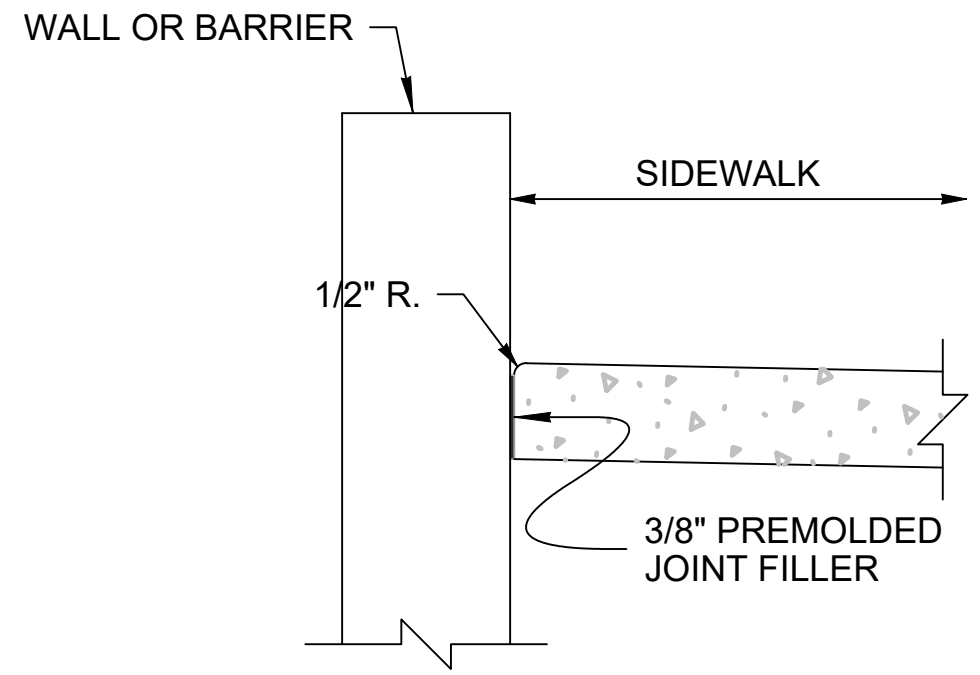
C CONTRACTION JOINT



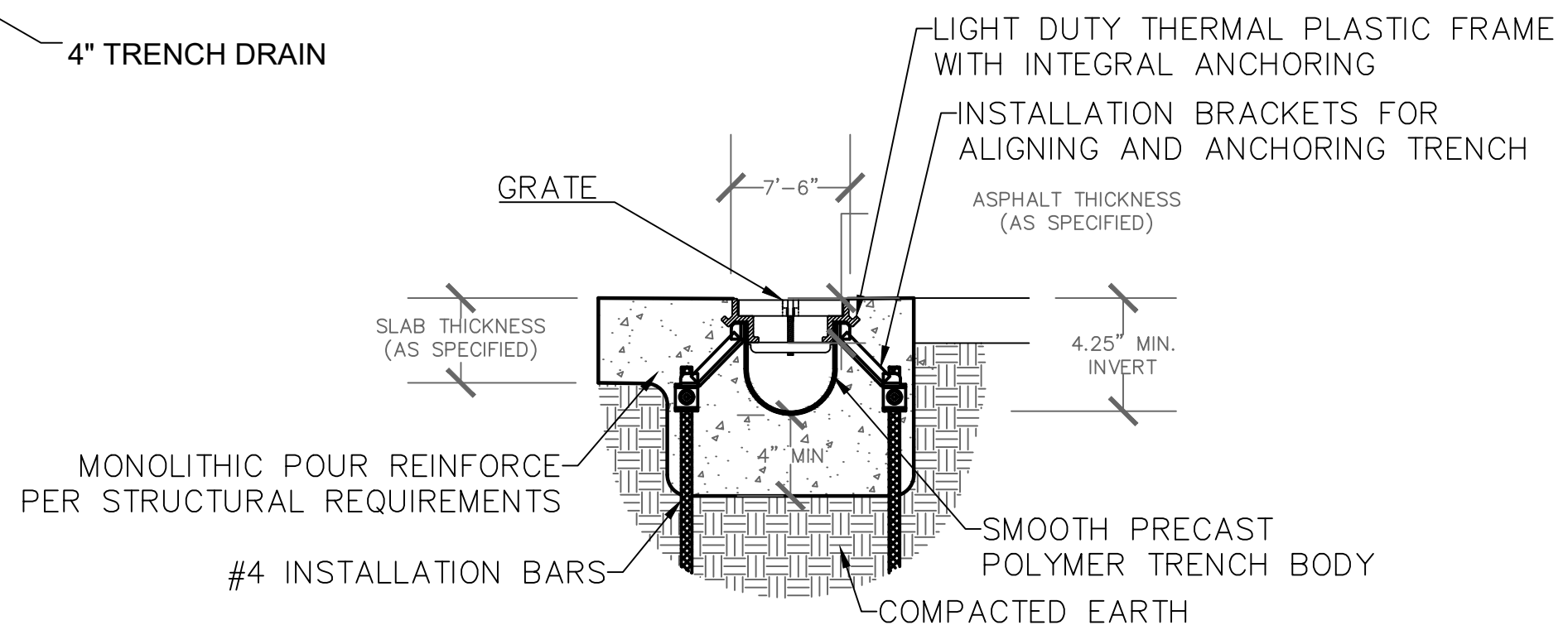
ISOMETRIC VIEW
JOINT AND FINISH
DETAIL



WITHOUT RAISED EDGE

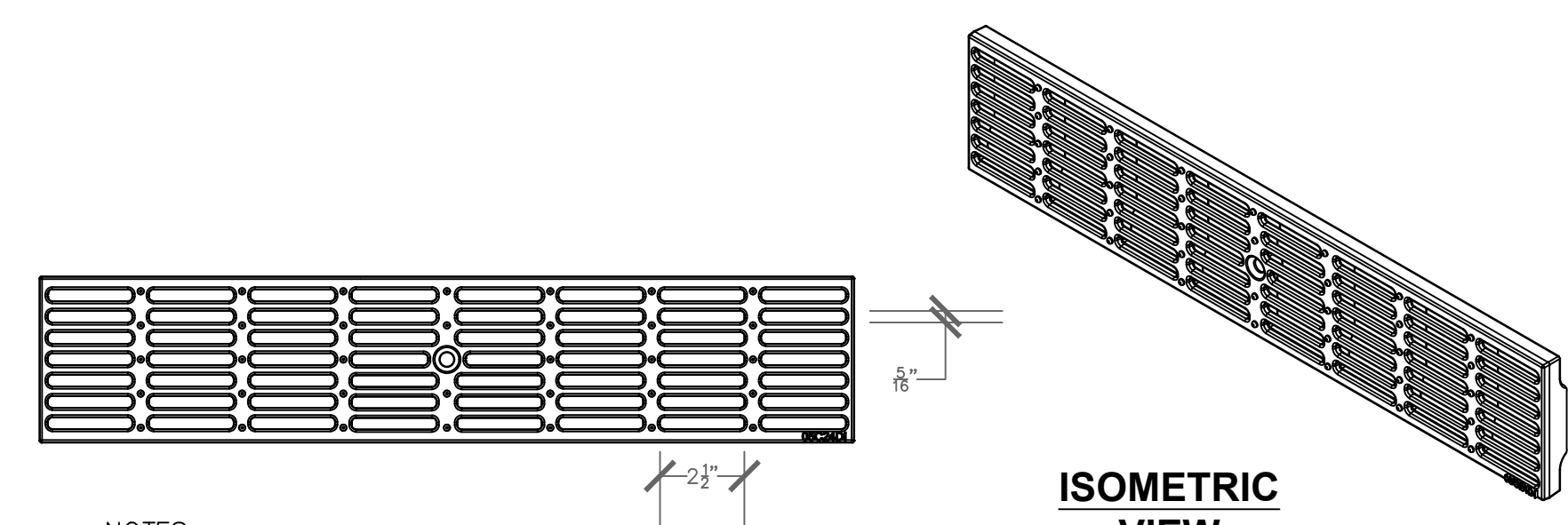


SIDEWALK ADJACENT TO WALL DETAIL



TYPICAL TRENCH SECTION

- NOTES:
1. STANDARD SLOPE IS 0.5% UNLESS OTHERWISE SPECIFIED
2. REINFORCE ACCORDING TO STRUCTURAL REQUIREMENTS
3. TRENCH DRAIN MUST BE 1/8" BELOW FINISHED CONCRETE GRADE



- NOTES:
1. GRATE MATERIAL IS CAST DUCTILE IRON 65-45-12
2. GRATES ARE LOAD CLASS D, EXCEEDS H-20 LOADING
3. GRATES ARE ADA COMPLIANT
4. GRATES ARE E-COATED BLACK
5. GRATE OPEN AREA 22.84 IN.²/LF

DUCTILE IRON
ADA AND HEEL PROOF GRATE

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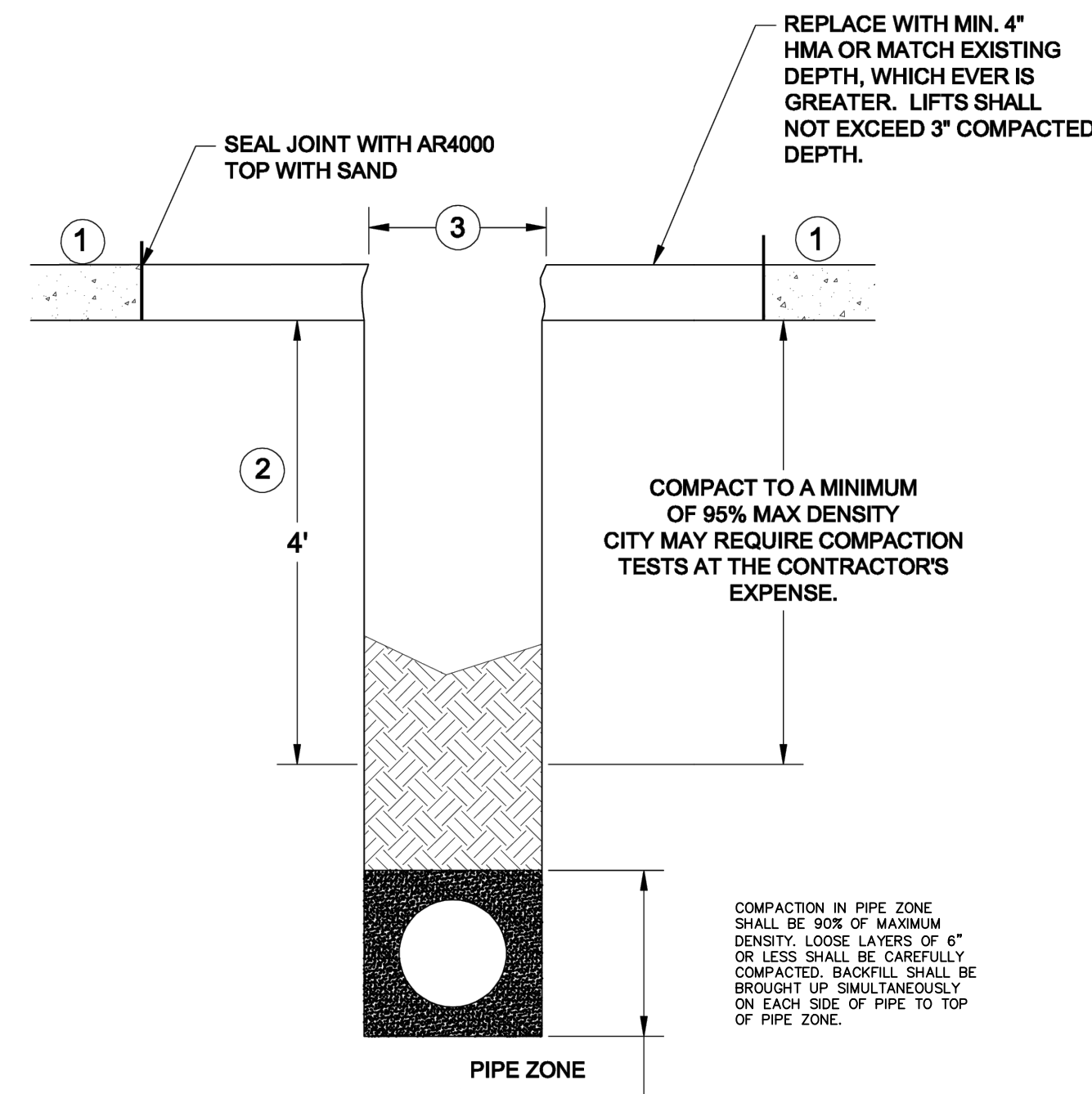
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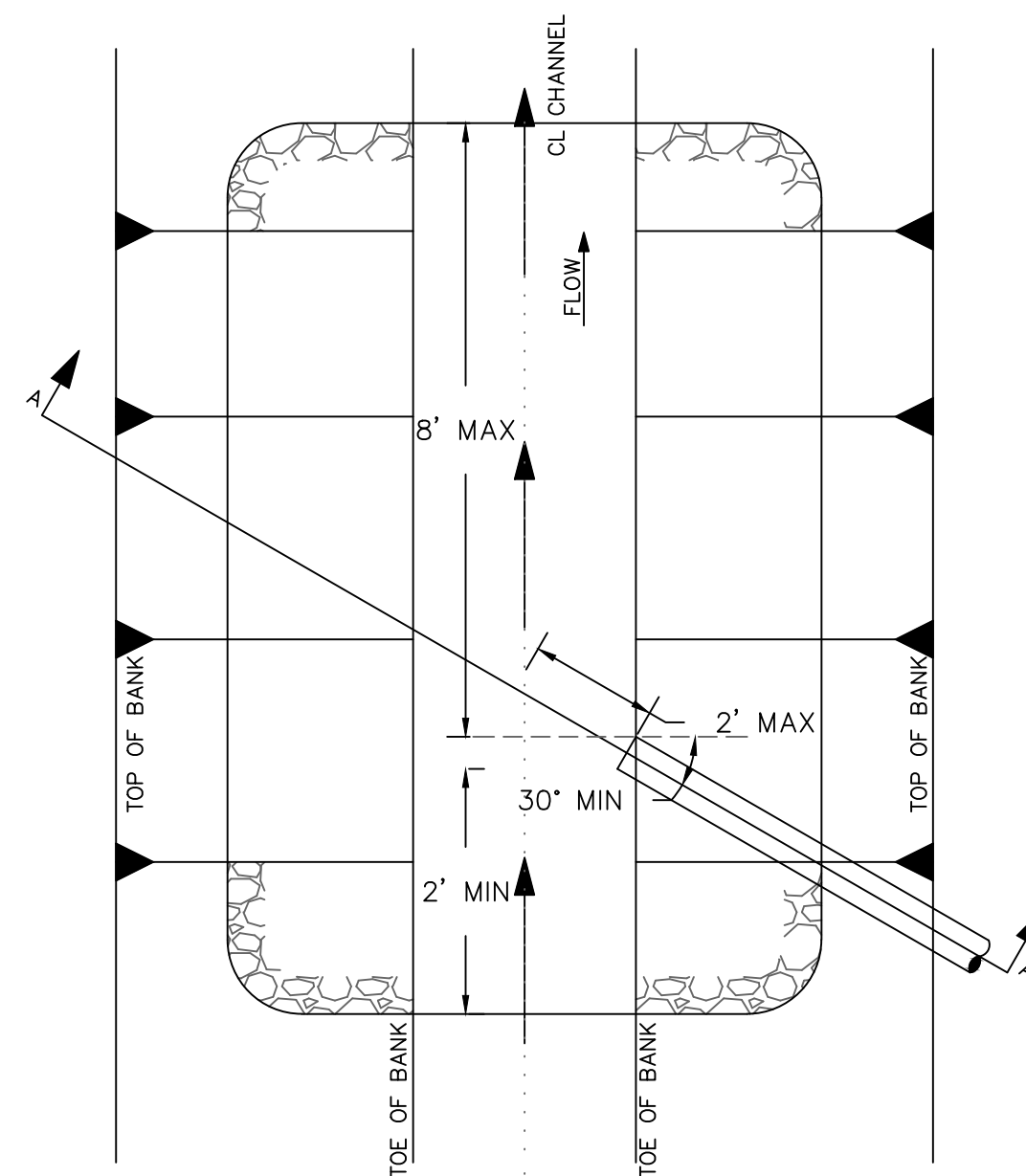
DETAILS
KCDem Tenant Improvement
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Attn: Jim Baurichter
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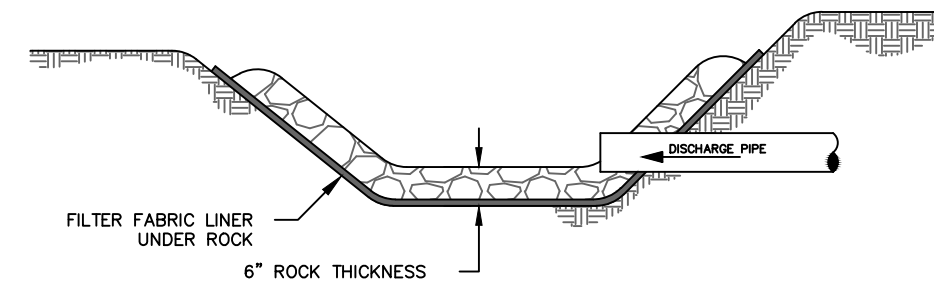
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SHEET:	C5 OF 6



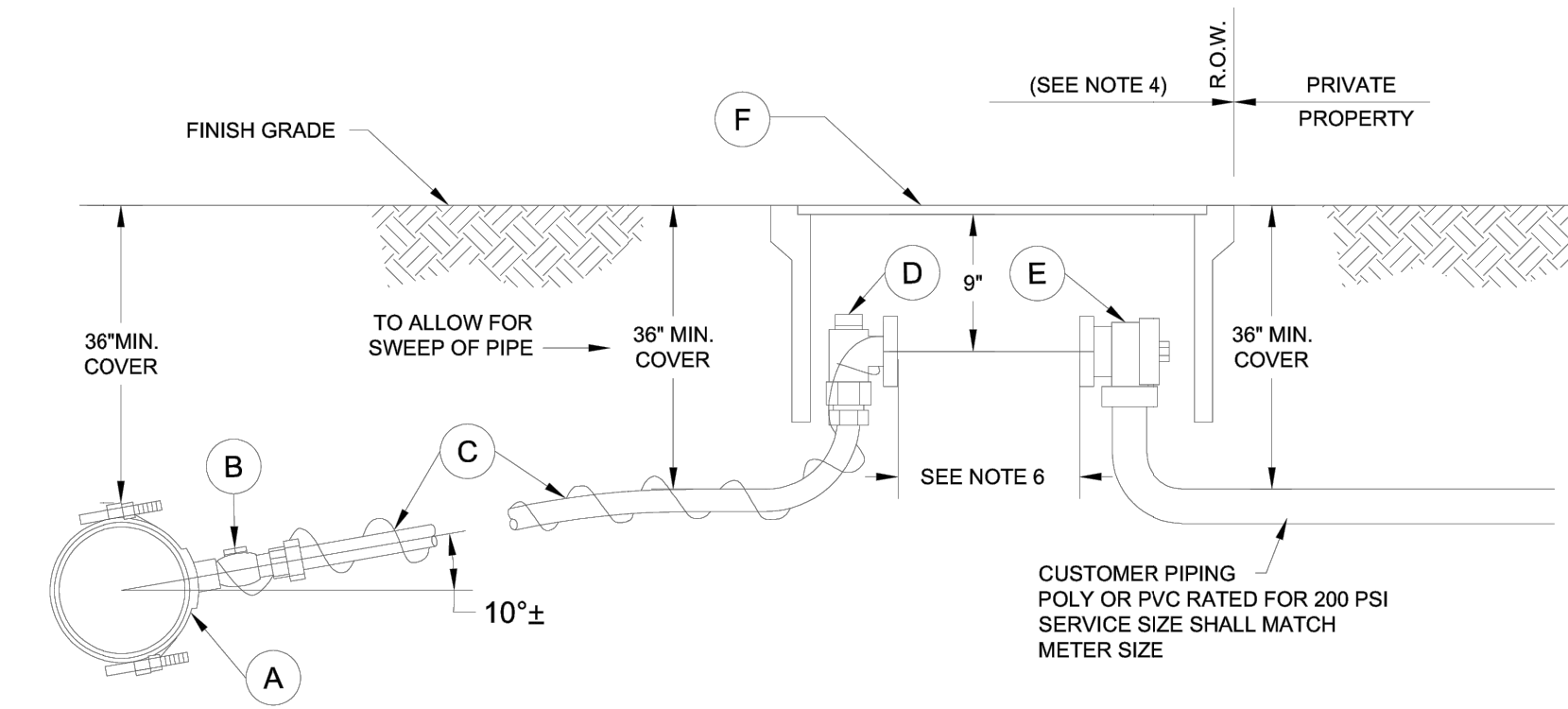
**TRENCH RESTORATION
ASPHALT CONCRETE**



**PIPE OUTFALL DISCHARGE
PROTECTION - PLAN VIEW**



**OUTFALL DISCHARGE
PROTECTION - SECTION A**



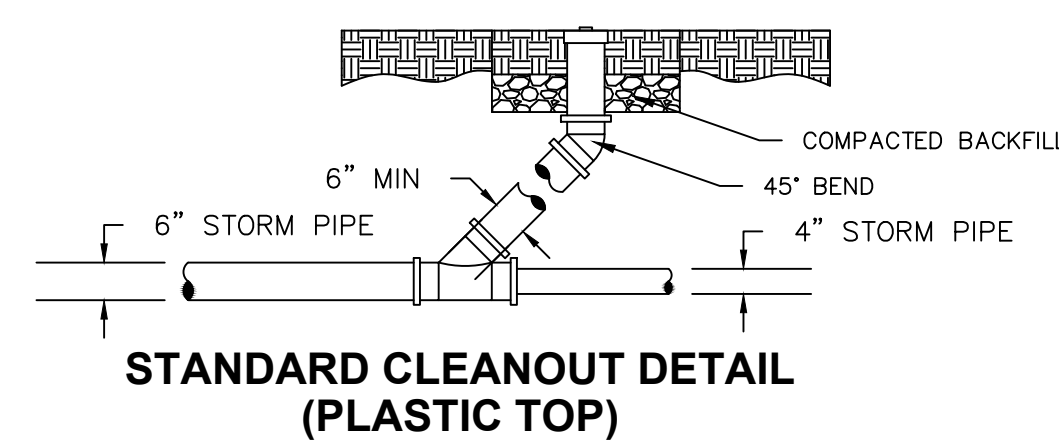
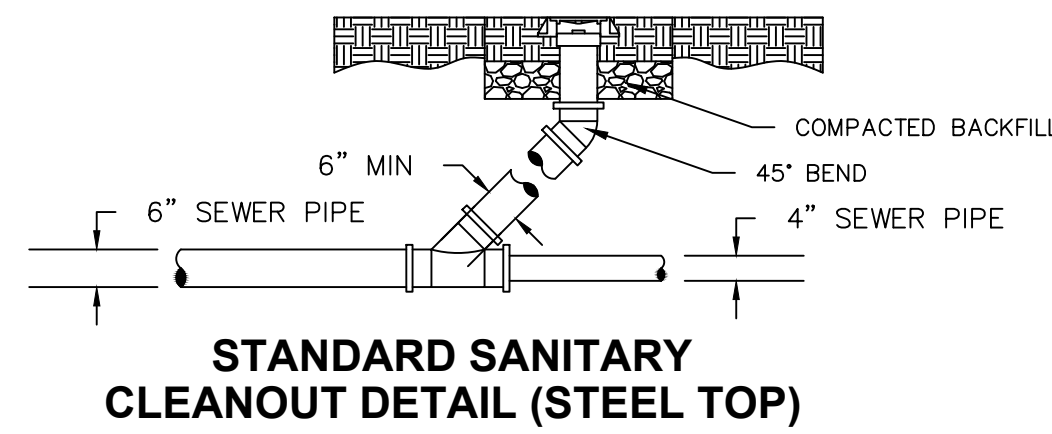
HORIZONTAL METER INSTALLATION

- A CAST IRON SERVICE SADDLE WITH STAINLESS STEEL BANDS WILL BE USED ON ALL WATER MAINS.
- B 1 1/2" OR 2" CORPORATION STOP (CC OR IP), X COMPRESSION.
- C 1 1/2" OR 2" HDPE @ COPPER TUBING SIZE, HIMQL W/ S.S. INTERNAL POLY STIFFENERS W/ 12 GA SOLID COPPER BLUE COATED LOCATE WIRE.
- D 1 1/2" OR 2" ANGLE METER VALVE, COMPRESSION X FLANGE.
- E 1 1/2" OR 2" ANGLE METER CHECK VALVE IP X FLANGE.
- F HDPE METER BOX WITH E/J/W #1730 TR METER COVER WITH RECESSED TOUCH READ PIT LID ADAPTER HOLE, MID STATES #173018B OR RAVEN METER BOX #17X30X16 OR APPROVED EQUAL.
- G METER SETTER W/ BYPASS MAYBE USED IN PLACE OF D AND E.

NOTES:

1. SERVICE LINES SHALL BE PERPENDICULAR TO THE WATERMAIN UNLESS NOTED OTHERWISE BY ENGINEER.
2. SERVICE SADDLE WILL BE INSTALLED AND CORPORATION STOPS WILL BE TAPPED INTO AN "EXISTING MAIN" BY CITY FORCES ONLY.
3. AN APPROVED BACKFLOW ASSEMBLY MUST BE INSTALLED PER WA. DEPT OF HEALTH ON ALL IRRIGATION SYSTEMS. THE SYSTEM SHALL NOT BE PLACED INTO SERVICE UNTIL THE REQUIRED BACKFLOW ASSEMBLY IS INSTALLED (PER CITY STANDARD DETAILS), TESTED AND INSPECTED BY A CERTIFIED CROSS CONNECTION CONTROL SPECIALIST.
4. THE WATER METER SHALL BE SUPPLIED AND INSTALLED BY THE BREMERTON PUBLIC WORKS AND UTILITIES DEPARTMENT. ALL OTHER MATERIALS WILL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR OR HOMEOWNER. WHEN THE INSTALLATION IS COMPLETE AND INSPECTED, THE CITY WILL MAINTAIN THE SERVICE UPSTREAM OF THE METER, INSIDE THE RIGHT OF WAY.
5. LOCATE WIRE SHALL BE 12 GA BLUE COATED SOLID COPPER WIRE, STRIPPED AT BOTH ENDS AND TIGHTLY WRAPPED AROUND (GROUNDED TO) THE CORPORATION STOP A MINIMUM OF TWO TIMES OR CRIMP TO THE TRACING WIRE ON THE MAIN. THE END IN THE METER BOX SHALL BE LOOPED AND TUCKED INSIDE THE BOX.
6. METER DIMENSIONS VARY BY SIZE.

**2" DOMESTIC/IRRIGATION
SERVICE CONNECTION**

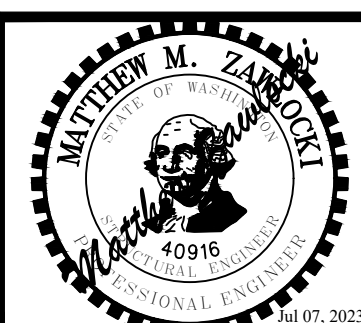


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Attn: Jim Baurichter
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Port Orchard, WA 98366

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SHEET C6 OF 6

PLANT LEGEND			
TREES			
SHRUBS & GROUND COVERS			
SYMBOL	QTY	DESCRIPTION	SIZE
	3	Rosemarinus officinalis 'Arp' ARP Rosemary	5 Gal. Min.
	3	Pieris japonica 'Little Heath' Little Heath Pieris	2 Gal. Min.
	2	Pinus mugo var. pumilio Dwarf Mugo Pine	5 Gal. Min.
	4	Nandina domestica 'Gulf stream' Gulf Stream Heavenly Bamboo	2 Gal. Min.
	5	Potentilla f. 'Sunset' Sunset Potentilla	2 Gal. Min.
	2	Erica carnea 'Springwood White' White Winter Heather	1 Gal. Min.
	3	Erica carnea 'Springwood Pink' Pink Winter Heather	1 Gal. Min.
	4	Calluna v 'Velvet facination' Velvet Facination Heather Gray	1 Gal. Min.
	1	Erica cinera 'Buckleberry Red' Buckleberry Red Heather Dk Red	1 Gal. Min.
	4	Helictotrichon sempervirens Blue Oat Grass	1 Gal. Min.
	2	Landscape Boulder - approx 30" x 22" x 24" High - place boulder on top of topsoil and place mulch around stone to appear buried in the ground (3")	

GENERAL LANDSCAPE NOTES

- Contractor is responsible for obtaining all necessary permits from the appropriate agency prior to commencing work. Contractor shall contact Line Locators (811) a min. of 48 hours prior to any digging or trenching. If there are any discrepancies with existing lines and landscaping, it is the contractor's responsibility to contact the landscape architect and request a site visit to address the conflicts. Contractor shall comply and conform to any and all local and state codes for work, schedules and any other project related requirements.
 - Contractor shall coordinate directly with the landscape architect for all landscape related issues, concerns, inspections and approvals. Contractor shall provide the landscape architect with a written request for a site visit to address any related items.
 - Scope of work shall include any and all specified and unspecified but related incidental work to achieve the design indicated on the landscape plans. All labor, materials, subcontractors, equipment, and related incidental items shall be supplied and installed to achieve a complete project, unless directed otherwise by the general contractor or landscape architect.
 - Contractor to verify all sub grades are set below required amendments to insure the finished grade will match what is intended by civil or drainage design. All sub grades and finished or final grades shall be graded to drain to the designed drainage system with positive drainage away from all structures.
 - Grade Preparation:**
 - Slopes used for plantings shall be less than 3:1 or 33 percent.
- Soil Preparation.
- In new planting areas, remove 12" of debris and compacted soils, gravel. Ensure drainage from the planting areas around the building and parking lot have yard drains and perforated drainage to the foundation drain or downspout drainage.
 - Scarify an additional 6 inch depth of planter and place 9" of 5 way topsoil. Integrate the new soil with the scarified area.
- Mulching of Newly Planted or Replanted Areas.
 - Mulches must be applied to the following depths: a minimum 3 (three) inches over top soil.
 - Mulches shall be highly organic compost Cedar Grove or similar.
 - Nonporous materials, such as plastic sheeting, shall not be used in any area of the landscape because of down-slope erosion and potential soil contamination from herbicide washing.
 - Mulch should be applied regularly to and maintained in all planting areas to assist soils in retaining moisture, reducing weed growth, and minimizing erosion.
 - Contractor shall field layout all plant material and contact the landscape architect for a site visit or photo emailed to approve the layout. Any field modifications shall be done by the landscape architect prior to planting.
 - Contractor shall immediately notify the landscape architect of any poor drainage condition in landscape areas. No standing water shall be permitted in any landscape areas - either on the surface or below the topsoil. The landscape architect shall coordinate the drainage solution with the general contractor and civil engineer. Once the concerns have been remedied planting shall commence.
 - All groundcover to be planted in a triangular spacing formation, equal in all directions to the centers of the groundcovers in distances indicated in the legend. Contractor shall verify all quantities of groundcovers by area calculations and spacing requirements.
 - Landscaping is to be per plan. Plant substitutions due to availability or otherwise will be allowed only with landscape architect, owner and agency approval. Any substitutions will be with material of similar size, growth characteristics, and quality.
 - All trees must be staked as necessary so as to maintain material in a healthy, vigorous growing condition.
 - Landscaping shall be installed in a professional workmanlike manner that is consistent and accepted throughout the industry. All landscape and irrigation work shall be performed by experienced persons familiar with scope of project.
 - All landscape material and labor is to be guaranteed for a period of one full year from the time of completion.
 - When planting 'Balled and Burlapped' product, remove all burlap, string & wire from any B&B plant material, cut and remove jute strings. Gently place in tact Rootball into planting pit. If rootball breaks or is not solid - the plant is unacceptable and shall be replaced.
 - Street trees shall be high branching with canopy that starts at least 6' above finish grade.
 - All plant I.D. tags are to remain on the plant material until final inspection has been completed. Once approved all plant I.D. tags shall be removed and discarded appropriately.
 - Trees shall be cared for in accordance with the American National Standards Institute (ANSI) standard practices for trees, shrubs and other woody plant maintenance (ANSI 300) in order to allow them to reach their mature height and form.
 - Pruning of street trees shall be performed per the ANSI 300 standards so as to maintain the natural form of the tree, encourage vigorous growth to a mature spread and height, and avoid weakening the tree to create a hazard. Street trees shall not be topped pollarded, or otherwise pruned in a manner contrary to these goals, unless there is no practicable alternative that would preserve essential utility services.
 - Plant material selected is drought tolerant or native species. The project proponent (property Owner) shall be responsible for maintaining and watering all plant material throughout the first growing season and in times of drought.**

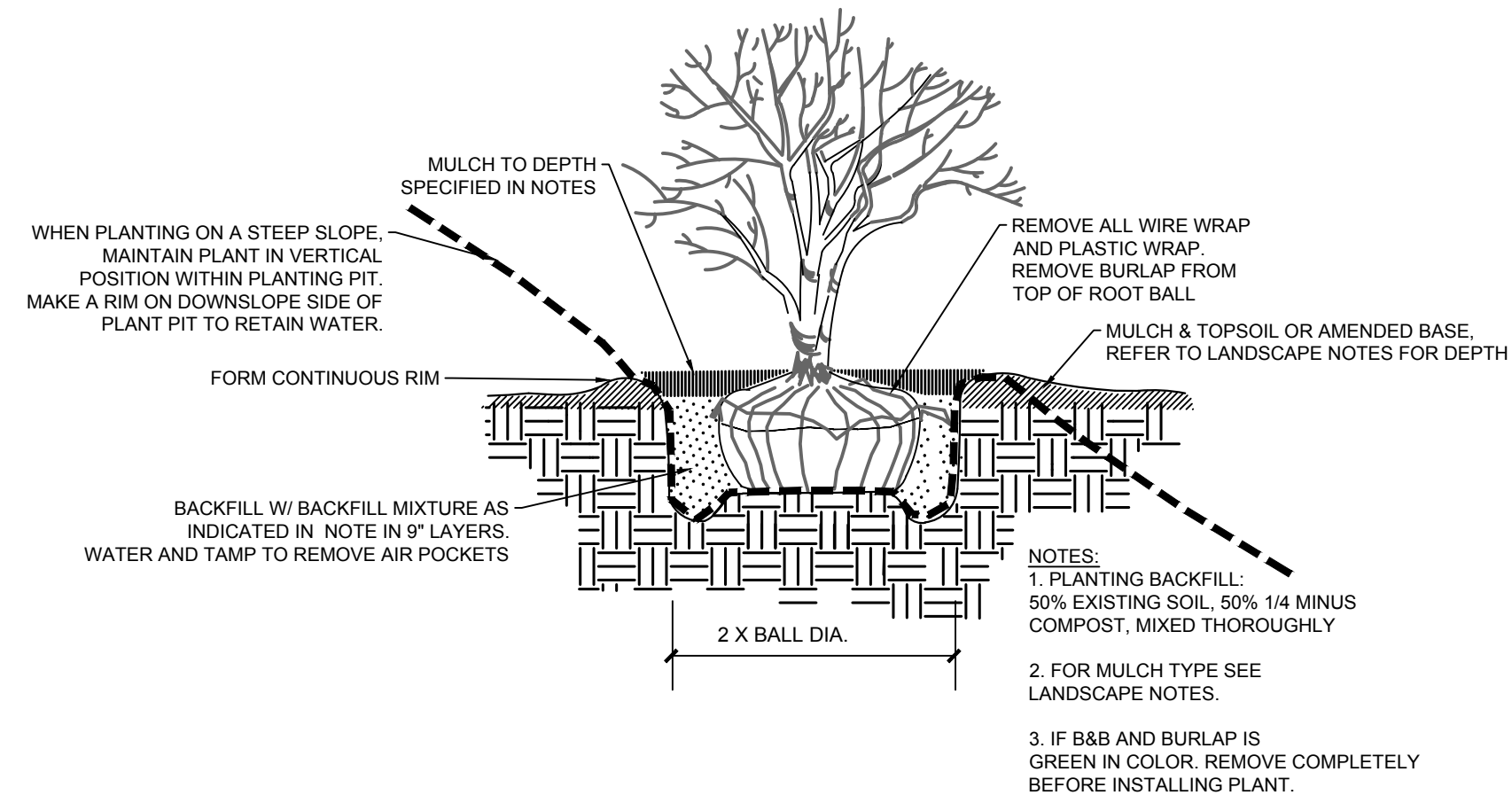
Temporary irrigation shall be provided via a Hose Bib from the building. Sleeving under concrete shall be provided to the planting beds for temporary irrigation lines to be run. Drip line to be placed around the plant bases. A battery timer off the hose bib will be utilized for controlling the watering times.

Owner may elect to have the contractor hired to water and warranty the plants for the establishment period. For planting warranties from contractor to be ensured, contractor shall be responsible for watering the plant material and keeping the mulch ring weed free for the first growing season as part of the contract.

It is recommended to install the landscaping in the Spring (February - April) or Fall (October - December) when dormant but before hard freeze.

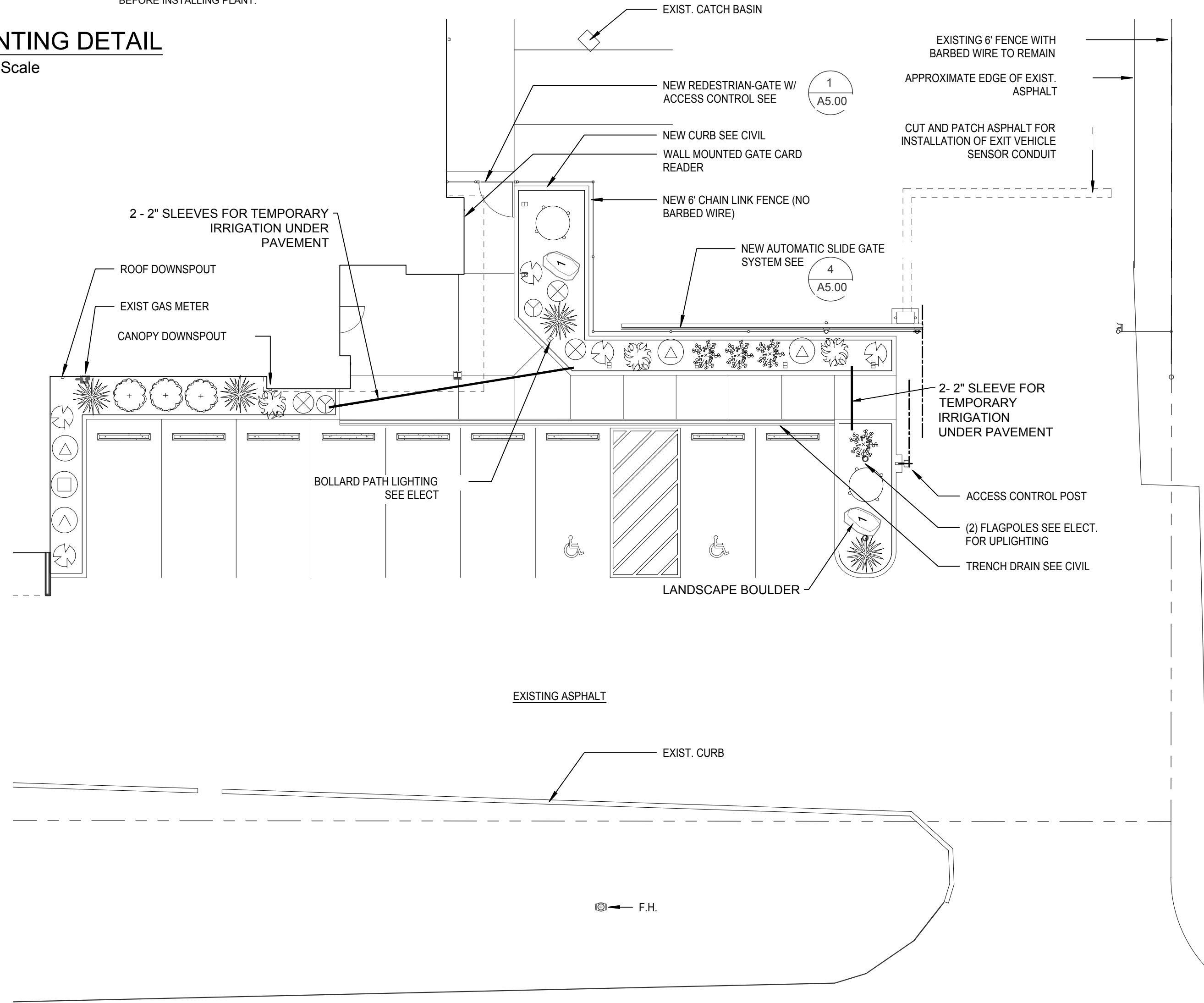
TEMPORARY IRRIGATION

The project proponent shall ensure that a minimum of **one (1) inch of water is supplied each week** to the restoration area between May 1 and October 15 for a least the first two years following initial planting. The calculated amount of required water shall include both natural rainfall and temporary irrigation.



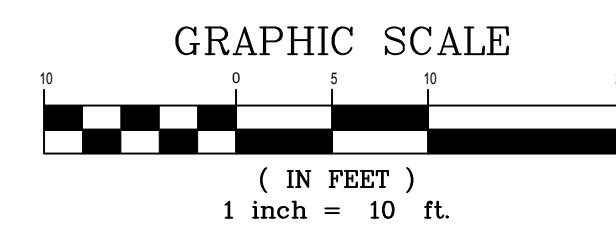
SHRUB PLANTING DETAIL

No Scale



SW IMPERIAL WAY

LANDSCAPE PLAN



Know what's below.
Call before you dig.



PROJECT:
KITSAP COUNTY DEM
8900 SW IMPERIAL WAY
CITY OF BREMBERTON, WA

REVISIONS:

DRAWING ISSUED FOR:
BID SET
DATE: July 7, 2023



PROJECT NO: 2354
FILE NAME: 2354LSB
DRAWN BY: KLO
CHECKED BY: KLO
X-REFS: CIVIL
PLOT SCALE: 1:1
DRAWING SCALES: 1:10

DRAWING CONTENTS
LANDSCAPE PLAN

DRAWING NO.:
L1

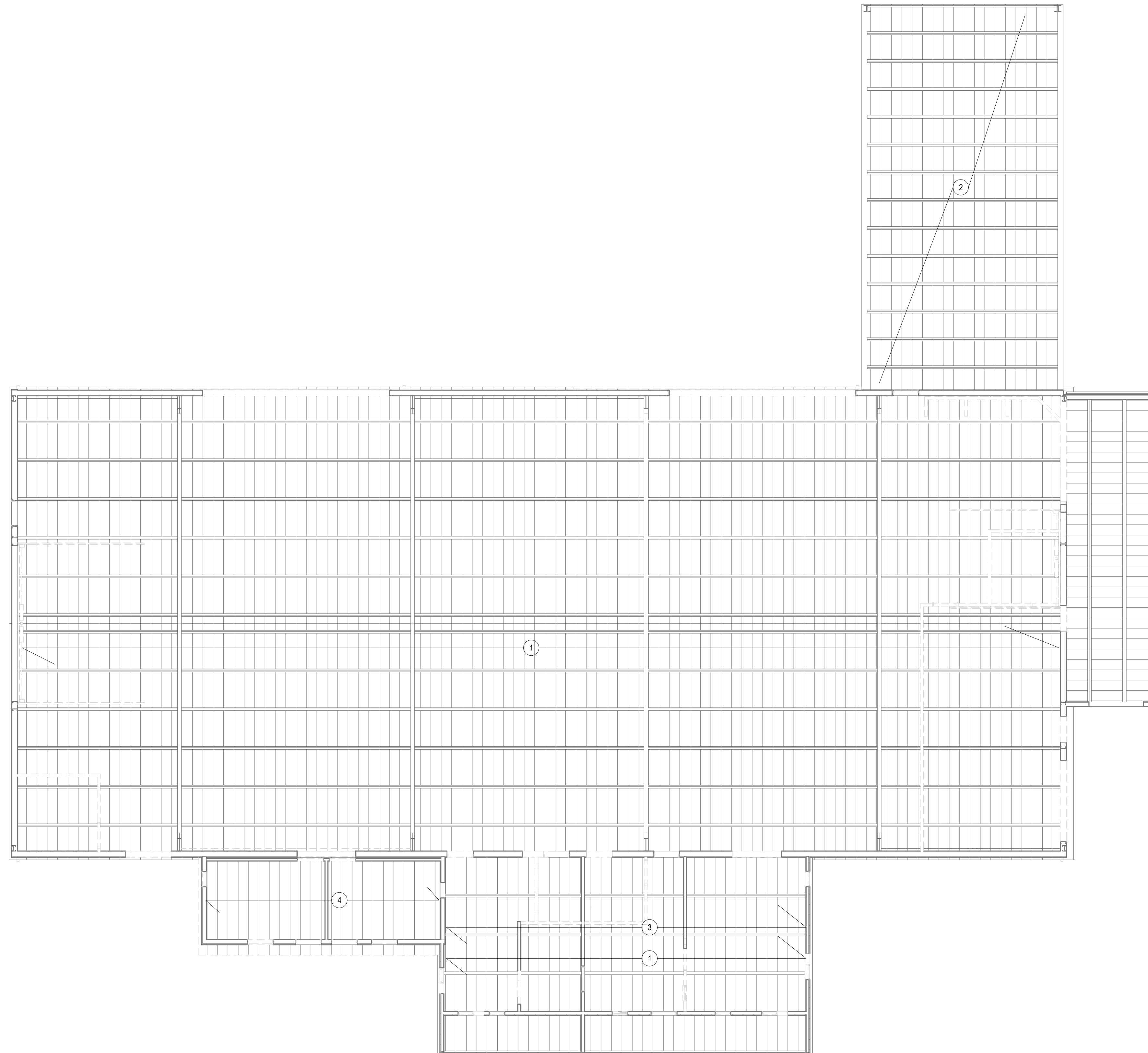
GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
2. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

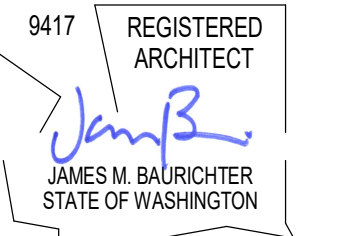
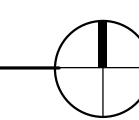
KEYED NOTES

- 1 REMOVE EXISTING BATT INSULATION ATTACHED TO METAL ROOF ENTIRE PEMB
- 2 REMOVE EXISTING METAL ROOFING AT COVERED WALKWAY
- 3 REMOVE EXISTING T-BAR CEILING SYSTEM (NOT SHOWN IN PLAN) THIS AREA
- 4 REMOVE EXISTING GWB AND INSULATION AT EXISTING 2X10 ROOF FRAMING THIS AREA. REMOVE METAL ROOFING THIS AREA.

2 DEMOLITION RCP NOTES
NTS



1 REFLECTED CEILING EXISTING / DEMO PLAN
1/8" = 1'-0"



BP 23-00525

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

BID SET

DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

RCP - EXISTING /
DEMO

A1.03

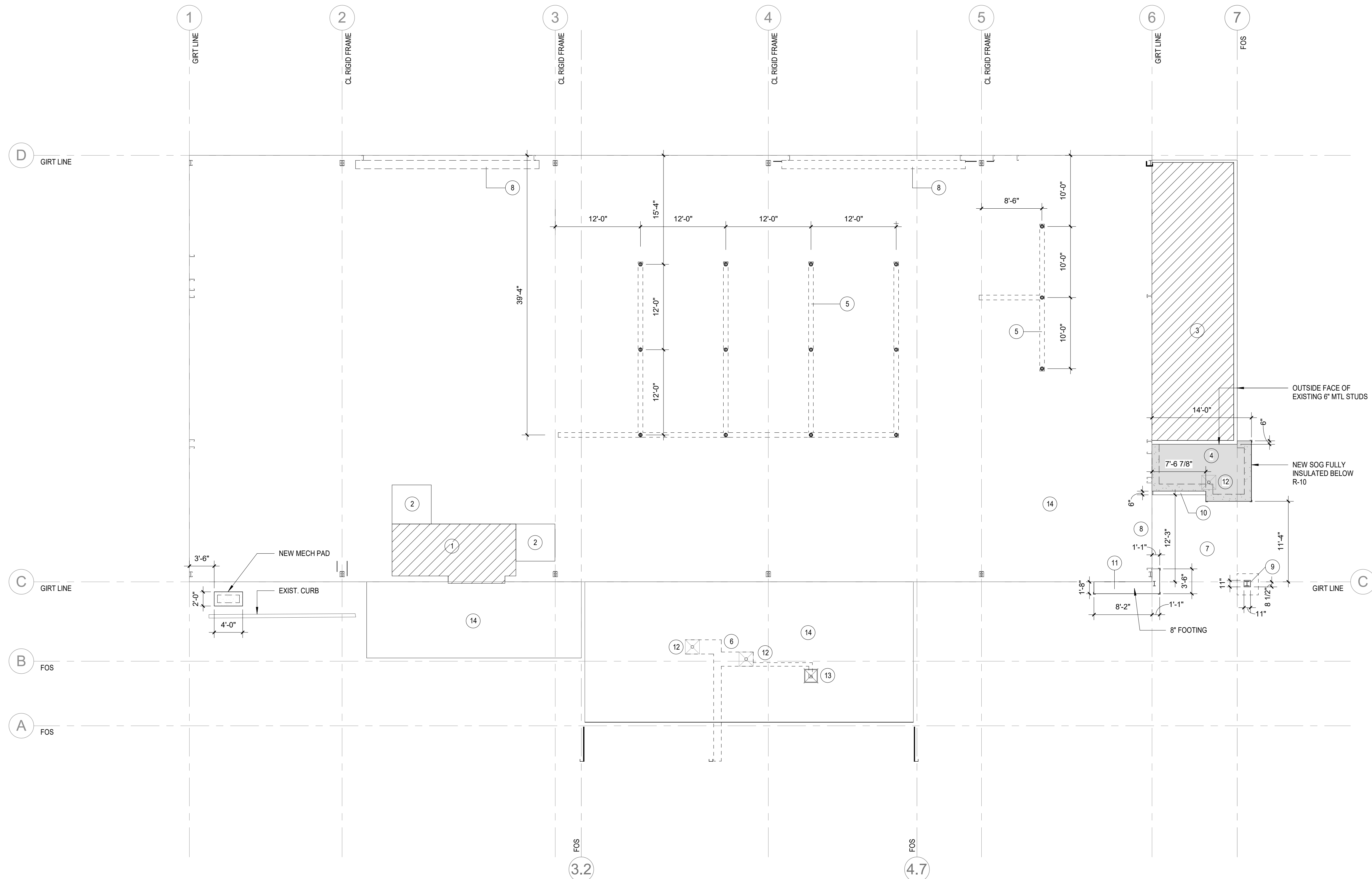
ARCH SLAB PLAN NOTES

GENERAL SLAB PLAN NOTES

- NOTE: WALLS NOT SHOWN FOR CLARITY
- PROVIDE FLOOR PREP AS REQUIRED FOR SPECIFIED FLOOR COVERING TYP.

KEYED NOTES

- NEW GYPCRETE TOPPING SLAB OVER EXIST. SOG TO RAISE HATCHED AREA APPROX. 2.5' TO MATCH EXISTING SOG ELEVATION OF ROOMS 117 AND 118.
- NEW POLYMER MODIFIED CEMENTITIOUS TOPPING RAMPS CONNECTING RAISED SLAB AREAS TO EXISTING SOG ELEVATION
- NEW GYPCRETE TOPPING OVER EXISTING SOG TO RAISE HATCHED AREA APPROX. 1.5' TO MATCH ADJACENT EXIST. SOG
- NEW FTGS AND SLAB AREA SHOWN SHADED SEE STRUCT.
- SAWCUT AND PATCH FLOOR FOR INSTALLATION OF NEW FLOOR ELECT. OUTLETS. COORDINATE WITH ELECT. PLAN
- SAWCUT AND PATCH FLOOR FOR INSTALLATION OF NEW/REPLACED PLUMBING. CUT AREA IS SCHEMATIC IN NATURE AND SHALL BE COORDINATED WITH PLUMBING PLANS AND EXISTING CONDITIONS.
- SITE PAVING SEE ENLARGED SITE PLAN AND CIVIL DRAWINGS TYP.
- NEW POLYMER MODIFIED CEMENTITIOUS TOPPING TO RAISE SLOPED PORTION OF SLAB AT EXISTING GARAGE DOOR
- POST FOOTING WITH 11" X 11" PLINTH. TOP TOP OF PLINTH 6" AFF. 1" CHAMFER ON TOP EDGE ALL AROUND
- 6" RAISED STEM WALL. TOP 6" AFF.
- NEW FOOTING SEE STRUCTURAL
- NEW FLOOR DRAIN
- NEW MOP SINK LOCATION
- EXISTING SOG: PREP AS REQUIRED FOR FLOOR FINISHES



1 ARCHITECTURAL SLAB PLAN
1/8" = 1'-0"

KCDEM TENANT IMPROVEMENT

8900 SW IMPERIAL WAY
BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE	

BID SET

DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

ARCHITECTURAL
SLAB PLAN

A1.04

KCDM TENANT IMPROVEMENT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE	

BID SET

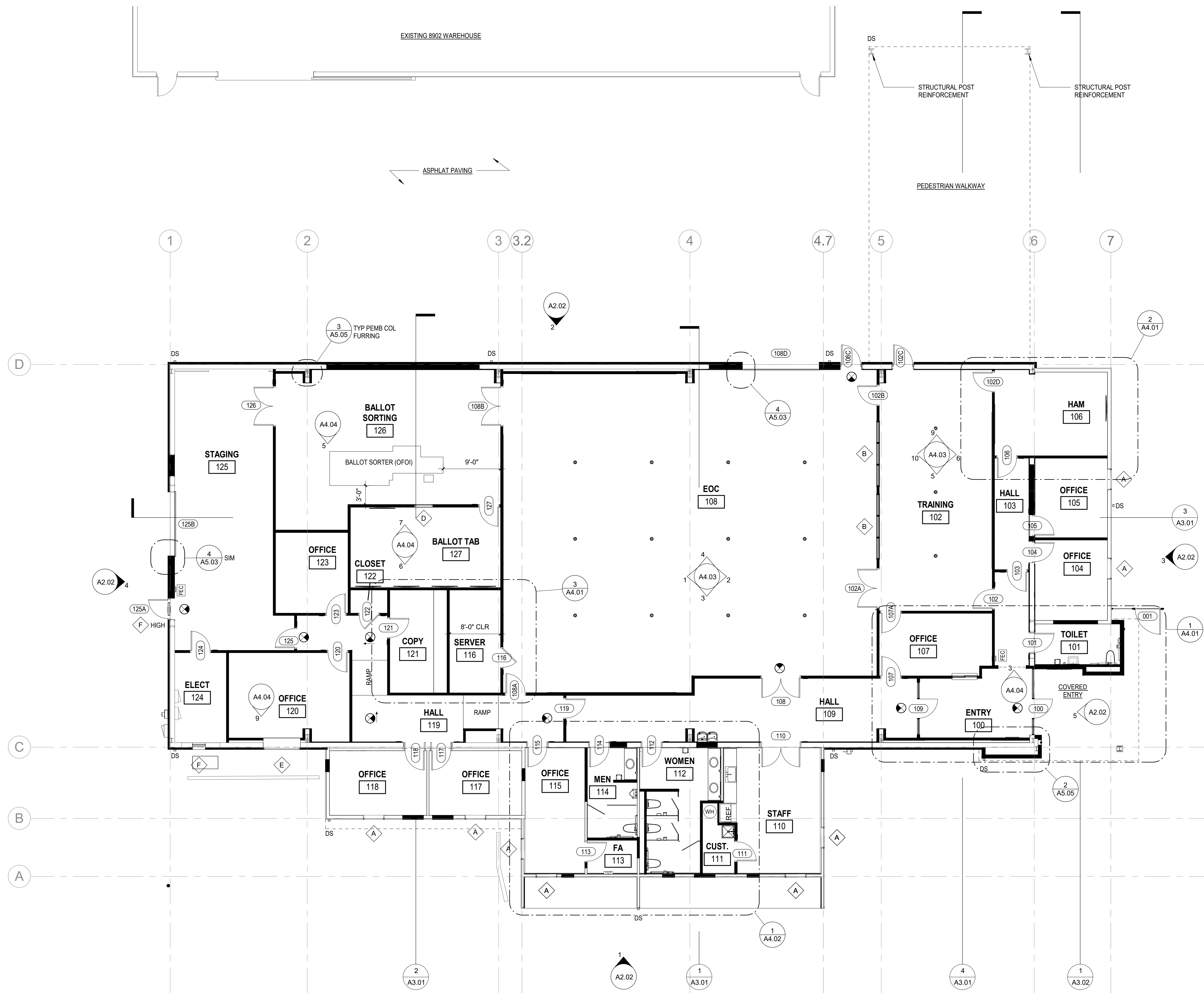
DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

FLOOR PLAN

A1.05

1 SYMBOL LEGEND

- SHEET # DET # EXTERIOR ELEVATION TAG
- SHEET # DET # INTERIOR ELEVATION TAG
- SECTION TAG
- DETAIL SECTION TAG
- ENLARGED DETAIL REFERENCE
- ENLARGED DETAIL REFERENCE
- WALL / PARTITION TYPE TAG
FH DESIGNATES FULL HEIGHT WALL
- SEE WALL ASSEMBLY SCHEDULE
- WINDOW TAG
- LOUVER TAG
- DOOR TAG
- ROOM NAME**
- ROOM TAG
- CEILING TAG
- CEILING TAG
- EXISTING WALLS TO REMAIN
- WALLS TO BE REMOVED
- NEW WALL UNLESS NOTED OTHERWISE
- ILLUMINATED EXIT SIGN TO REMAIN
- FIRE EXTINGUISHER
- DATUM TAG
- SPOT ELEVATION
- GRID LINE
- SLOPE ARROW
- FLOOR FINISH TAG
- REVISION TAG AND CLOUD
- DEMOLITION NOTE SEE KEY
- OCCUPANT LOAD TRAVELING THROUGH OPENING



1 FLOOR PLAN
1/8" = 1'-0"

KCDM TENANT IMPROVEMENT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE	

BID SET

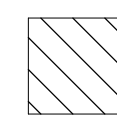
DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

FLOOR PLAN -
DIMENSIONS / WALL
TYPES

A1.06

GENERAL DIMENSIONAL NOTES

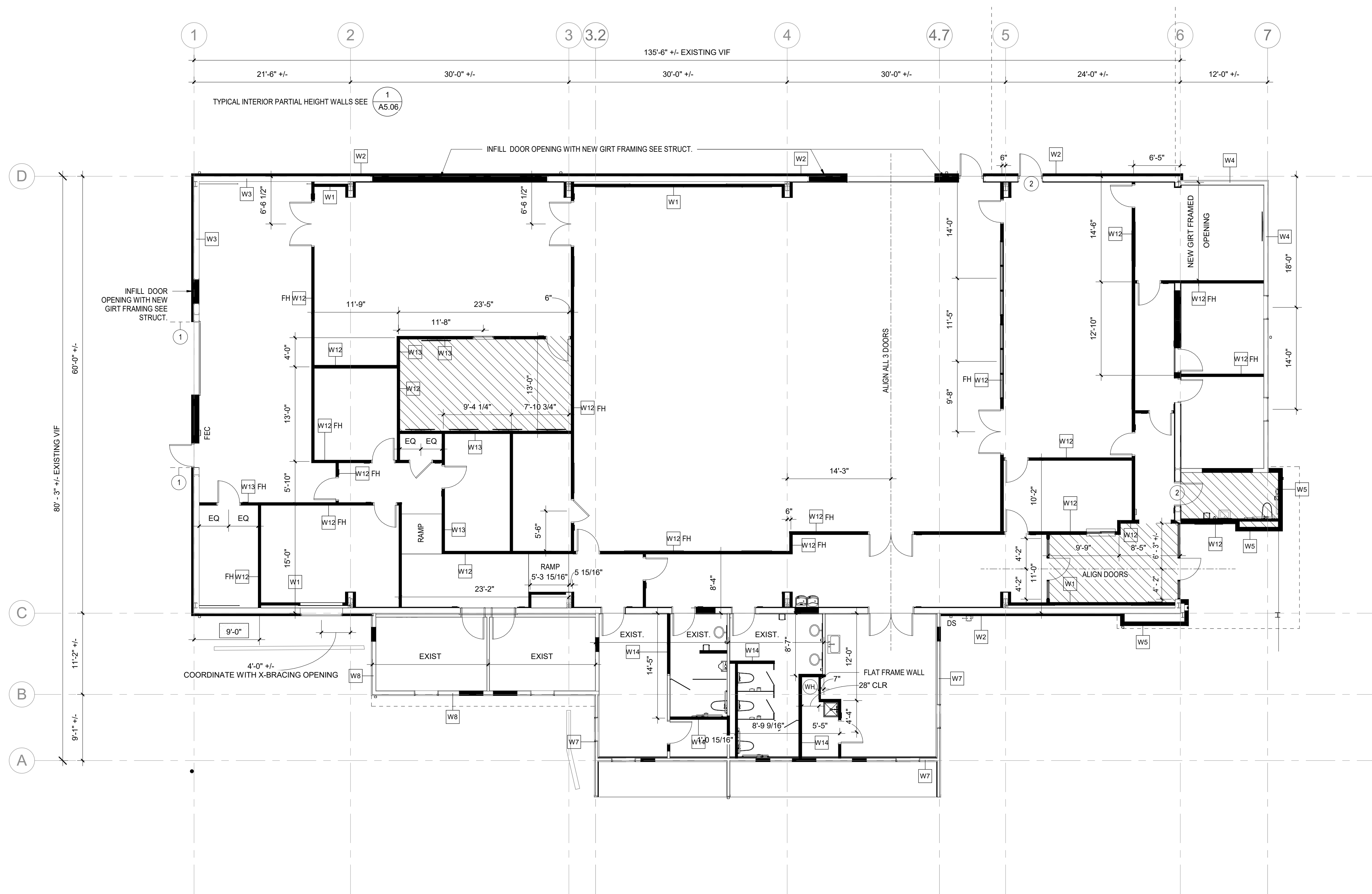
1. FIELD VERIFY ALL DIMENSIONS AND NOTIFY ANY INCONSISTENCIES TO ARCHITECT PRIOR TO CONSTRUCTION
2. SEE ARCHITECTURAL SLAB PLAN FOR ADDITIONAL DIMENSIONING
3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONING
4. EXTERIOR WALLS ARE DIMENSIONED FROM THE OUTSIDE OF STUD OR GIRT UNO
5. INTERIOR WALLS ARE DIMENSIONED TO THE CENTERLINE OF STUD UNO

 AREAS WITH NEW CEILING FRAMING ABOVE SEE SECTIONS FOR SUPPORTING WALL HEIGHTS. SEE STRUCT. FOR FRAMING

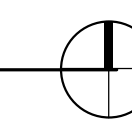
KEYED NOTES

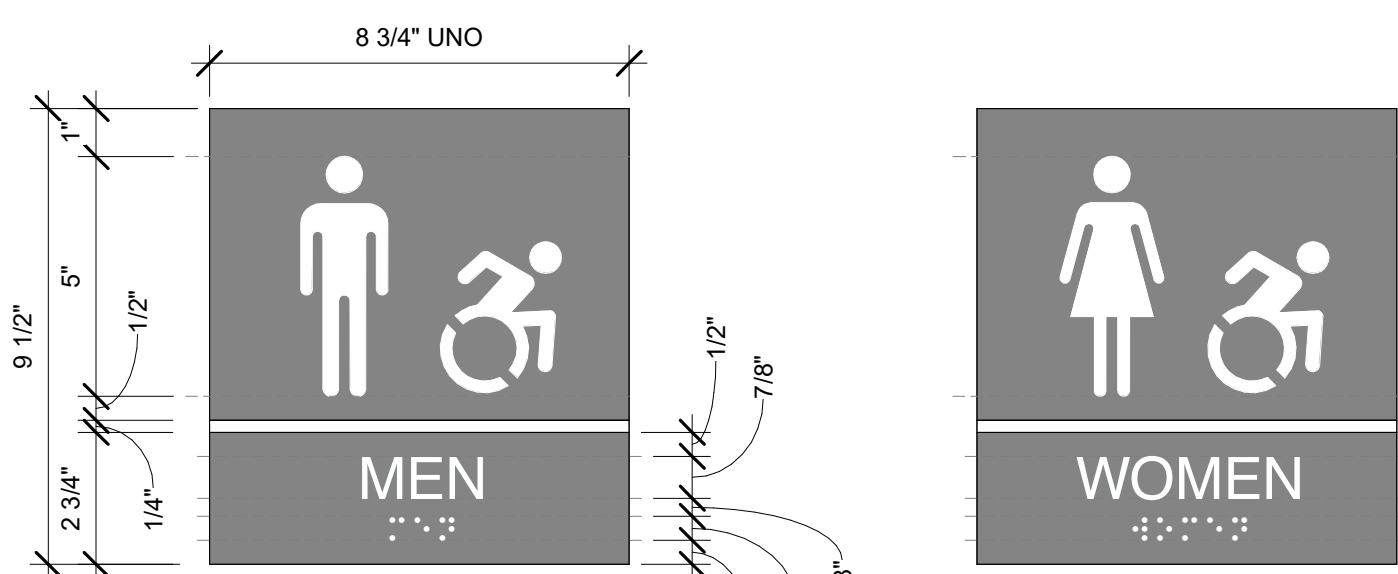
1. ALIGN EDGE OF NEW DOOR WITH FRAMING OF EXISTING GARGE DOOR
2. NEW DOOR IN EXISTING FRAMED DOOR OPENING

2 DIMENSION PLAN NOTES
NTS



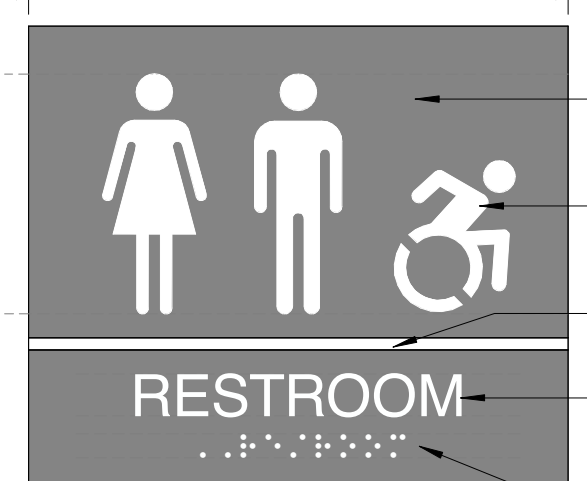
1 FLOOR PLAN - DIMENSIONS AND WALL TYPES
1/8" = 1'-0"



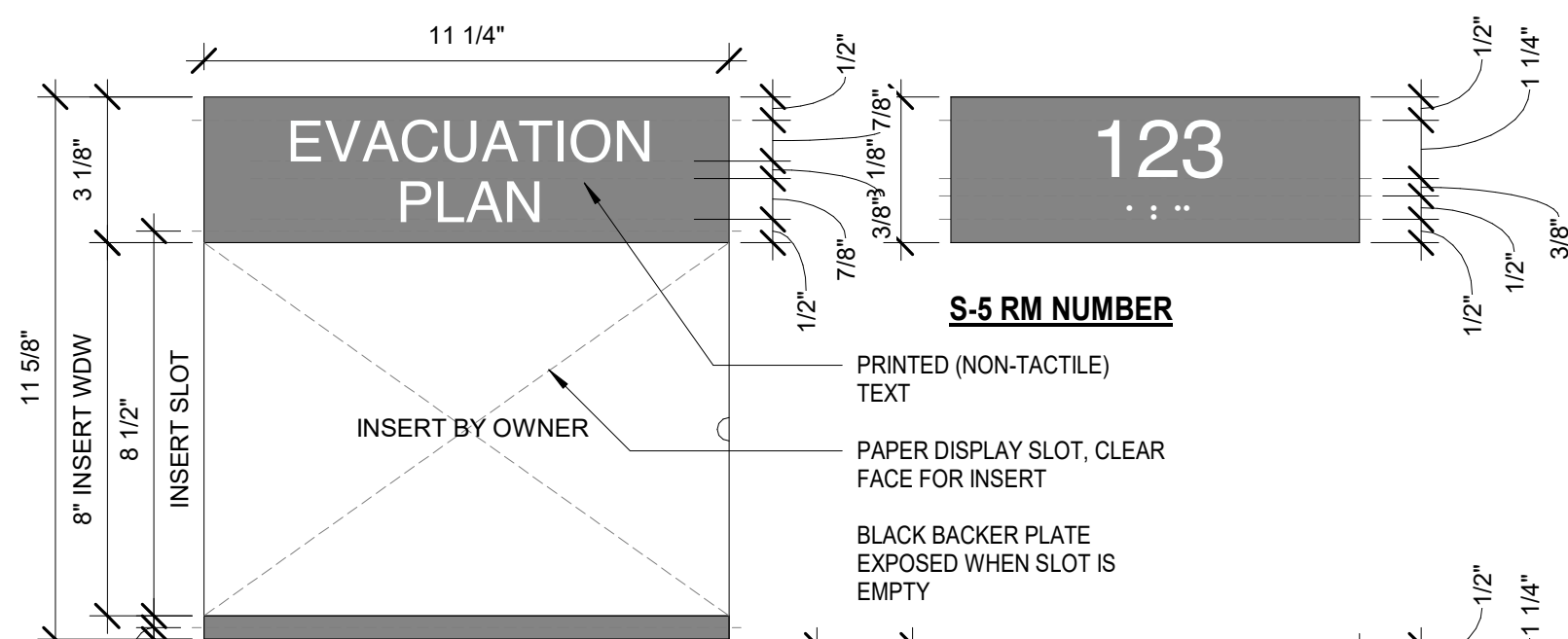


S-1 MENS RESTROOM

S-2 WOMENS RESTROOM



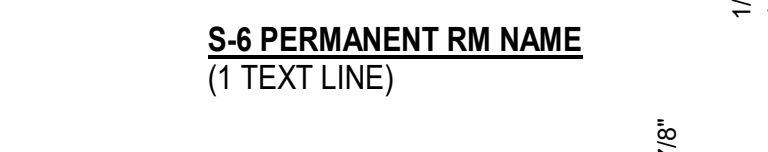
S-3 SINGLE OCC RESTROOM



S-4 EVACUATION PLAN



S-5 RM NUMBER



S-6 PERMANENT RM NAME (1 TEXT LINE)



S-7 MAX OCCUPANCY (SEE SCHEDULE FOR NUMBER)



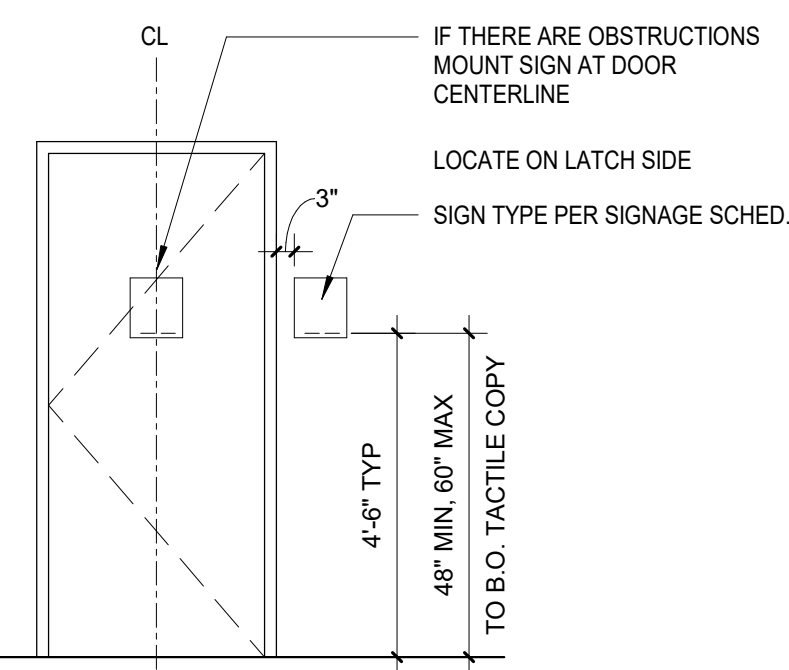
S-8 RM NUMBER WITH PAPER DISPLAY



S-9 NO EXIT

2 ROOM SIGNAGE TYPES

3" = 1'-0"



3 SIGN LOCATION

3/8" = 1'-0"

ROOM SIGNAGE SCHEDULE						
ROOM NAME	MARK	SIGN TYPE	QUANTITY	SIGN TEXT LINE 1	SIGN TEXT LINE 2	SIGN KEYNOTES
ENTRY	100	NA	0	NA		
TOILET	101	S3	1	RESTROOM		
TRAINING	102	S8	1	102		2
HALL	103	S6	1	104-106	EAST OFFICES	
OFFICE	104	S8	1	104		
OFFICE	105	S8	1	105		
HAM	106	S8	1	106		
OFFICE	107	S8	1	107		
EOC	108	S8	2	108		1
HALL	109	S6	1	117-123	WEST OFFICES	
STAFF	110	S8	1	111		
CUST.	111	S6	1	111	CUST.	
WOMEN	112	S2	1	113		
FA	113	S6	1	113		
MEN	114	S1	1	115		
OFFICE	115	S8	1	115		
SERVER	116	S6	1	117		
OFFICE	117	S8	1	117		
OFFICE	118	S8	1	118		
HALL	119	NA	0	NA		
OFFICE	120	S8	1	120		
COPY	121	S6	1	121	COPY	
CLOSET	122	S5	1	122		
OFFICE	123	S8	1	123		
ELECT	124	S6	1	124	ELECTRICAL STAGING	
STAGING	125	S8	2	125		
BALLOT SORTING	126	S8	2	126		
BALLOT TAB	127	S8	1	127		

SIGN KEYNOTES

- ROOM TO HAVE (1) SIGN TYPE S-7, 192 OCCUPANTS
- ROOM TO HAVE (2) SIGN TYPE S-7, 49 OCCUPANTS

FLOOR FINISH NOTES / KEY

GENERAL FINISH NOTES

1. FLOORING TRANSITIONS SEE 6 A5.06

KEYED NOTES

- CORNER GUARD
- RAMP, APPROXIMATELY 2.5% RISE VIF

CARPET 1 (CPT-1): 2 X 2 CARPET TILE

CARPET 2 (CPT-2): 2 X 2 CARPET TILE

CARPET 3 (CPT-3): 2 X 2 CARPET TILE - WALK-OFF MAT

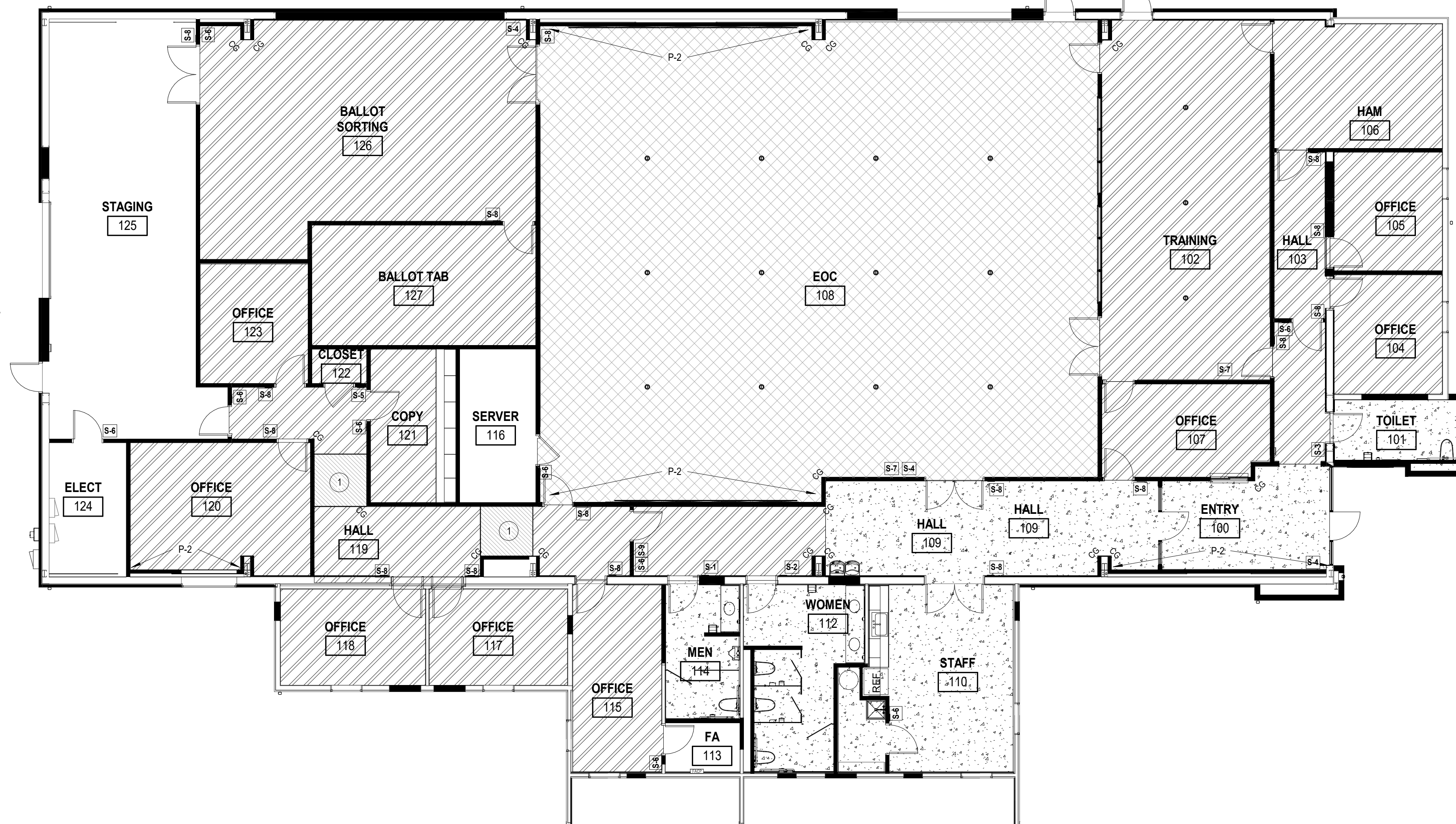
EXISTING CONCRETE FLOOR TO REMAIN (C-1)

POLISHED CONCRETE (C-2)

FINISH SCHEDULE

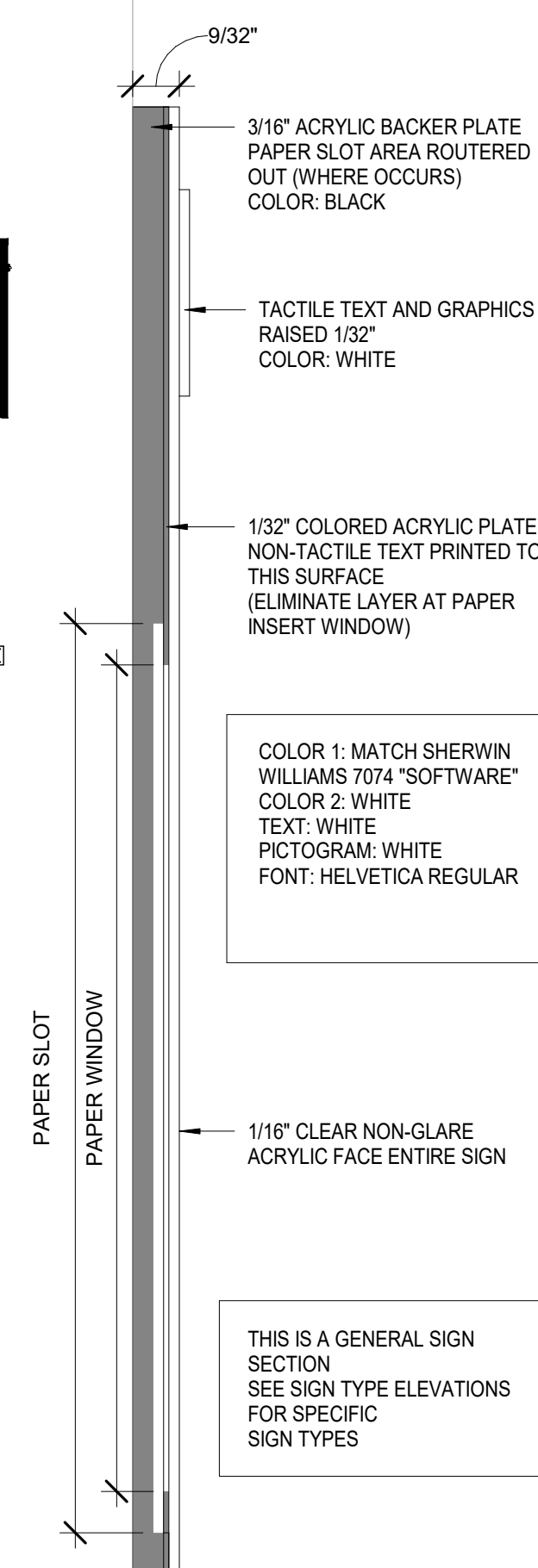
ROOM INFORMATION		WALLS					CEILING	COMMENTS
NUMBER	NAME	FLOOR	BASE	NORTH	EAST	SOUTH		
100	ENTRY	CPT-1 / C-2	B-1					SEE RCP, TYP
101	TOILET	C-2	B-1					
102	TRAINING	CPT-1	B-1					
103	HALL	CPT-1	B-1					
104	OFFICE	CPT-1	B-1					
105	OFFICE	CPT-1	B-1					
106	HAM	CPT-1	B-1					
107	OFFICE	CPT-1	B-1					
108	EOC	CPT-2	B-1					SEE INT. ELEV. FOR ACOUSTICAL PANELS
109	HALL	CPT-1 / C-2	B-1					
110	STAFF	C-2	B-1					
111	GUST.	C-2	B-1					
112	WOMEN	C-2	B-1					
113	FA	C-1	B-1					
114	MEN	C-2	B-1					
115	OFFICE	CPT-1	B-1					
116	SERVER	C-1	B-1					
117	OFFICE	CPT-1	B-1					
118	OFFICE	CPT-1	B-1					
119	HALL	CPT-1	B-1					
120	OFFICE	CPT-1	B-1					
121	COPY	CPT-1	B-1					
122	CLOSET	CPT-1	B-1					
123	OFFICE	CPT-1	B-1					
124	ELECT	C-1	B-1					NO BASE ON EXTERIOR WALLS
125	STAGING	C-1	B-1					NO BASE ON EXTERIOR WALLS
126	BALLOT SORTING	CPT-1	B-1					
127	BALLOT TAB	CPT-1	B-1					

1. PAINT COLORS TO BE DETERMINED BY ARCHITECT DURING SUBMITTAL PROCESS
- ALL INTERIOR GWB WALLS PAINTED COLOR P-1 UNLESS NOTED AS P-2 ON FLOOR PLAN THIS SHEET
 - ALL GWB CEILINGS PAINTED P-1
 - EOC CEILING (ABOVE) CLOUDS PAINTED P-3
 - INTERIOR HM FRAMES AND MTL DOORS (WD DOORS ARE FACTORY FINISHED); P-4
 - EXTERIOR HM DOORS AND FRAMES: P-5
 - EXTERIOR PAINTED STEEL: P-6



1 FLOOR PLAN - FLOOR FINISHES / RM SIGNAGE

1/8" = 1'-0"



4 SIGN CONSTRUCTION

12" = 1'-0"

BP 23-00525

REVISION SCHEDULE	

BID SET

DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

KCDM TENANT IMPROVEMENT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE	

BID SET

DATE: JULY 7, 2023
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REFLECTED CEILING PLAN

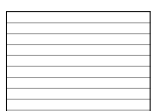
A1.08

GENERAL RCP NOTES

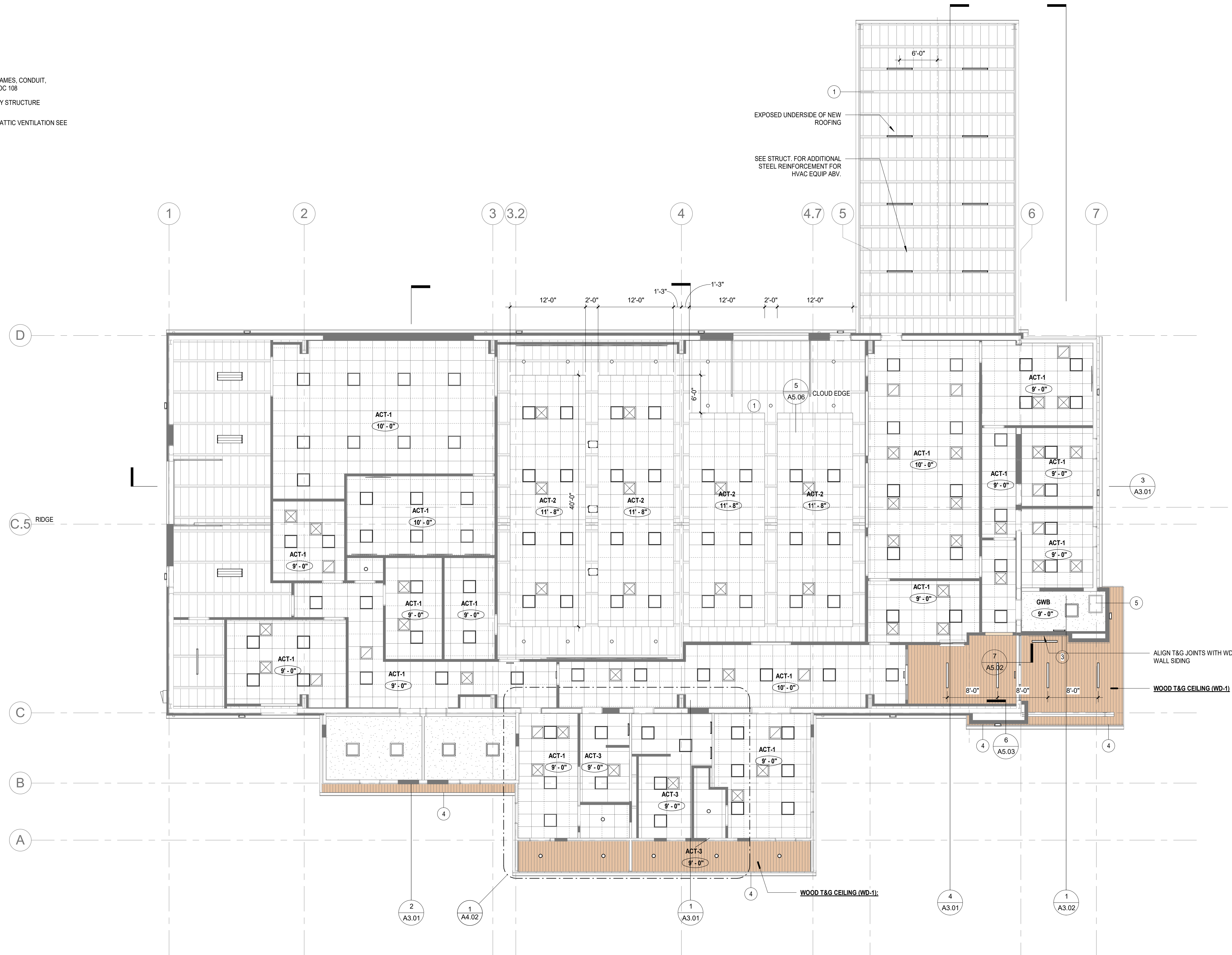
1. TYP ACT BRACING SEE STRUCT. AND 2
A5.06
2. DUCTWORK NOT SHOWN SEE MECH.

KEYED NOTES

- 1 PAINT UNDERSIDE OF ROOFING, STEEL PURLINS, STEEL RIGID FRAMES, CONDUIT, DUCTING, AND OTHER EXPOSED ITEMS ABV. CLOUDS IN ROOM EOC 108
- 2 PREP AND PAINT EXPOSED STEEL AT ENTIRE COVERED WALKWAY STRUCTURE
- 3 7 LF OF 3" CONTINUOUS ALUM EAVE VENT. PROVIDES ADJACENT ATTIC VENTILATION SEE ROOF PLAN FOR VENT CALCS
- 4 CONTINUOUS ALUM EAVE VENT
- 5 22' X 30' INSULATED ATTIC ACCESS PANEL

 **WOOD T&G CEILING:**
1X6 STAINED T&G CEDAR

2 **RCP NOTES / KEY**
NTS



1 **REFLECTED CEILING PLAN**
1/8" = 1'-0"

BUILDING ELEVATIONS NOTES / KEY

GENERAL BUILDING ELEVATION NOTES

- SEE ELECTRICAL DRAWINGS FOR EXTERIOR CCTV CAMERA ROUGH-IN LOCATIONS. NOT SHOWN ON BUILDING ELEVATIONS.
- ALL EXPOSED METALS ON ROOFS AND WALLS ARE FACTORY FINISHED EXCEPT
 - HM DOORS AND FRAMES
 - NEW AND EXISTING EXPOSED STRUCTURAL STEEL

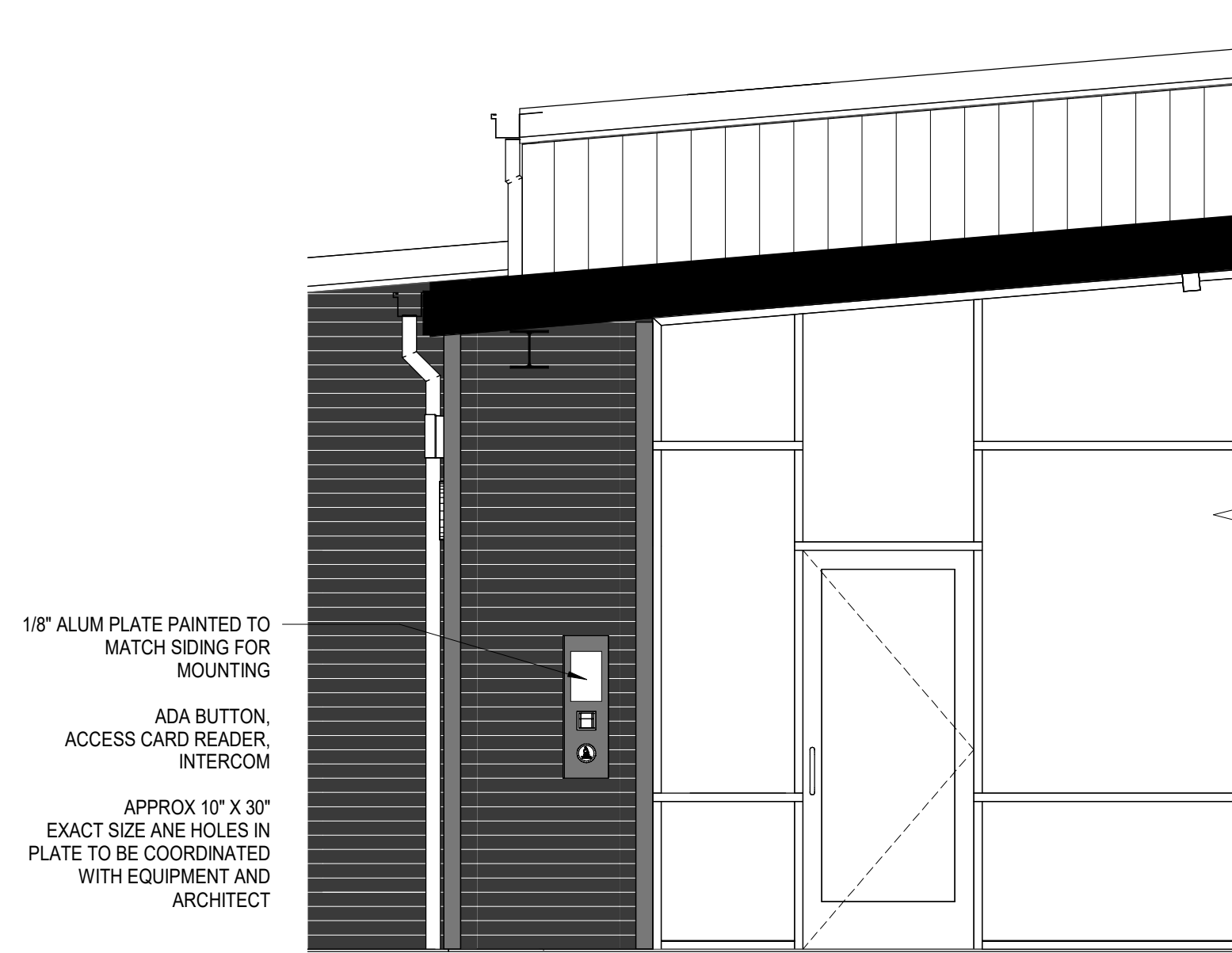
KEYED NOTES

- LIGHT FIXTURES, SEE ELECTRICAL
- BOX GUTTER AND DOWNSPOUT SEE 1
A5.03
- NEW 24" X 24" LOUVER SEE MECHANICAL

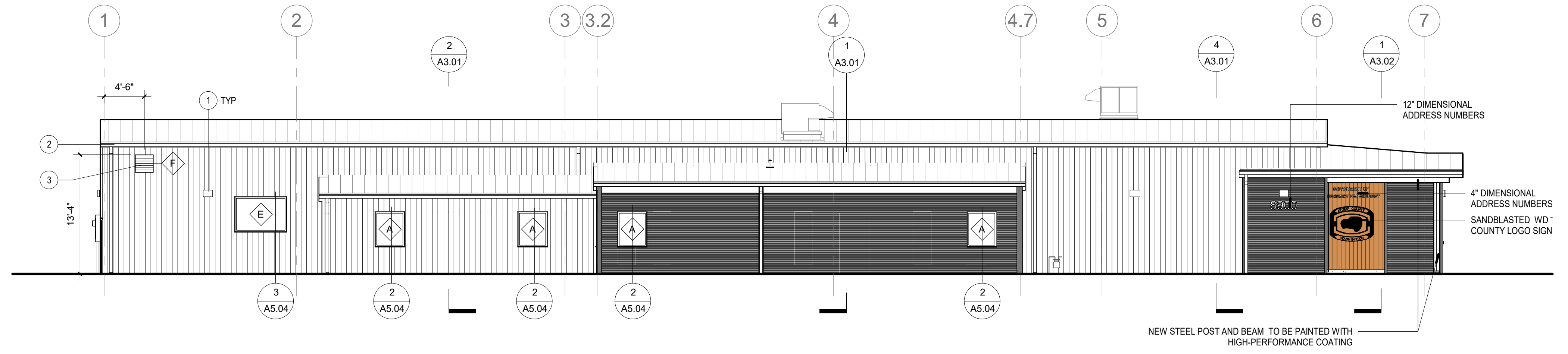
MTL 1:
NEW EXPOSED FASTENER MTL SIDING PANELS. VERTICAL APPLICATION

MTL 2:
NEW EXPOSED FASTENER MTL SIDING PANELS. HORIZONTAL APPLICATION

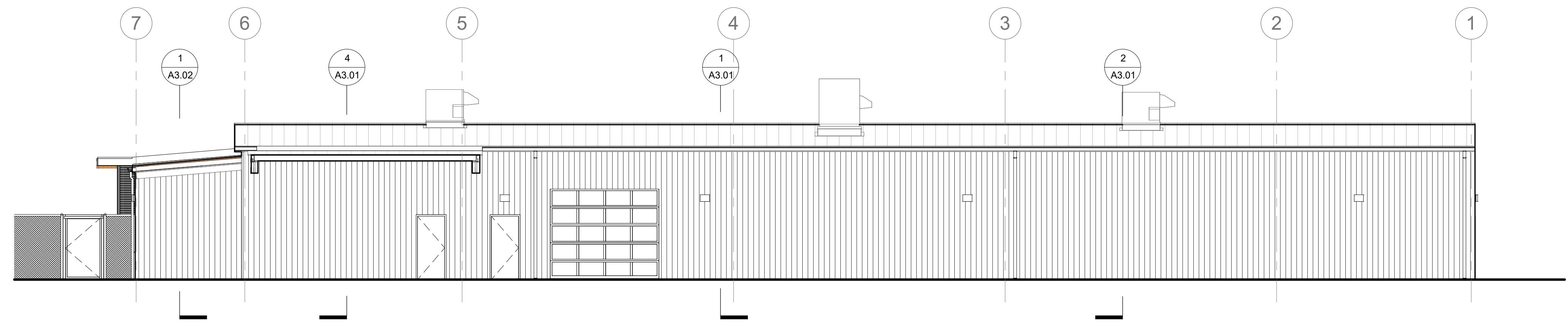
WD 1:
STAINED CEDAR SIDING. VERTICAL APPLICATION.



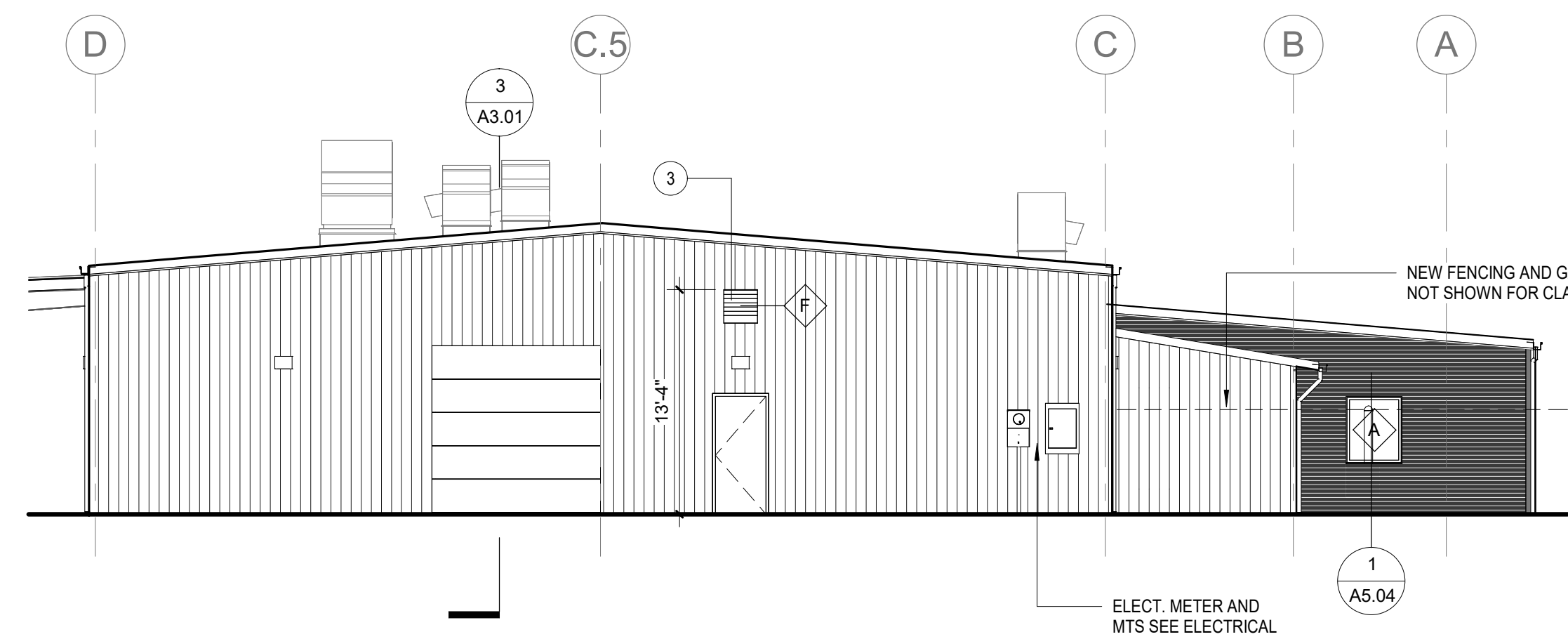
5 ENLARGED ELEVATION - ENTRY
3/8" = 1'-0"



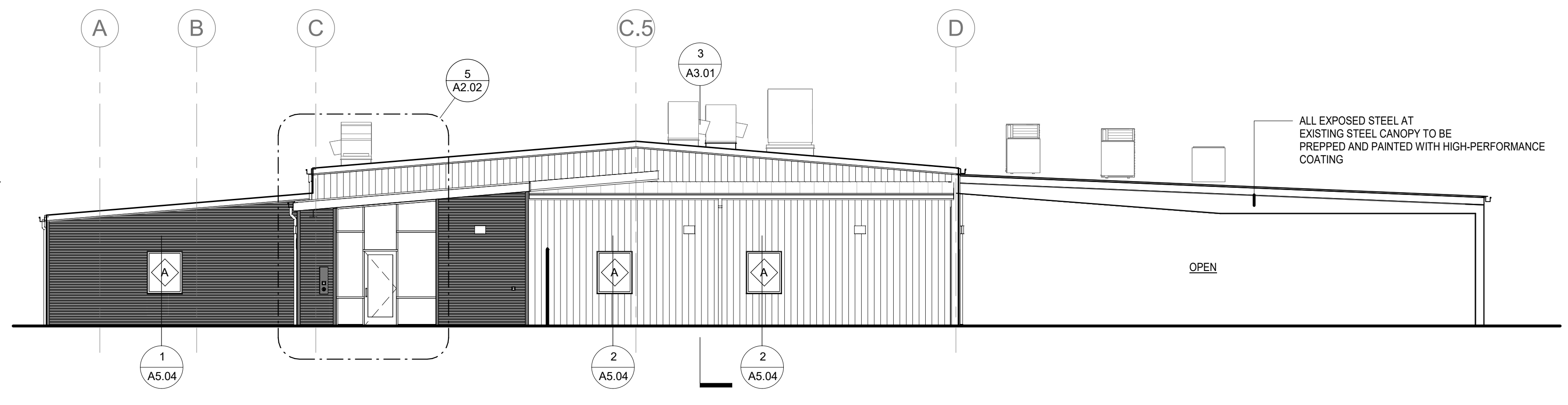
1 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



2 BUILDING ELEVATION - NORTH
1/8" = 1'-0"



4 BUILDING ELEVATION - WEST
1/8" = 1'-0"



3 BUILDING ELEVATION - EAST
1/8" = 1'-0"

REVISION SCHEDULE	

KCDEM TENANT IMPROVEMENT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

BP 23-00525

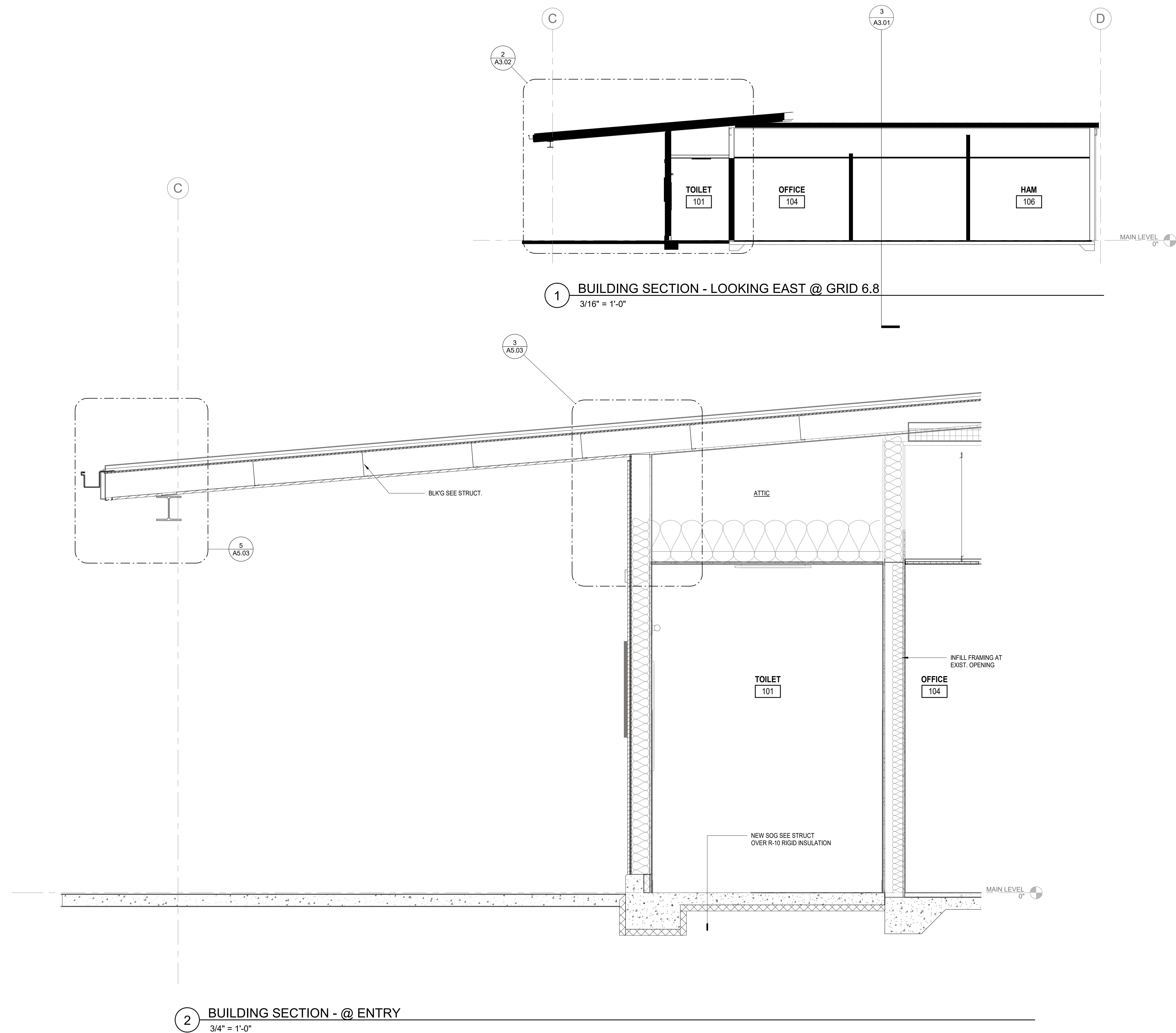
REVISION SCHEDULE	

BID SET

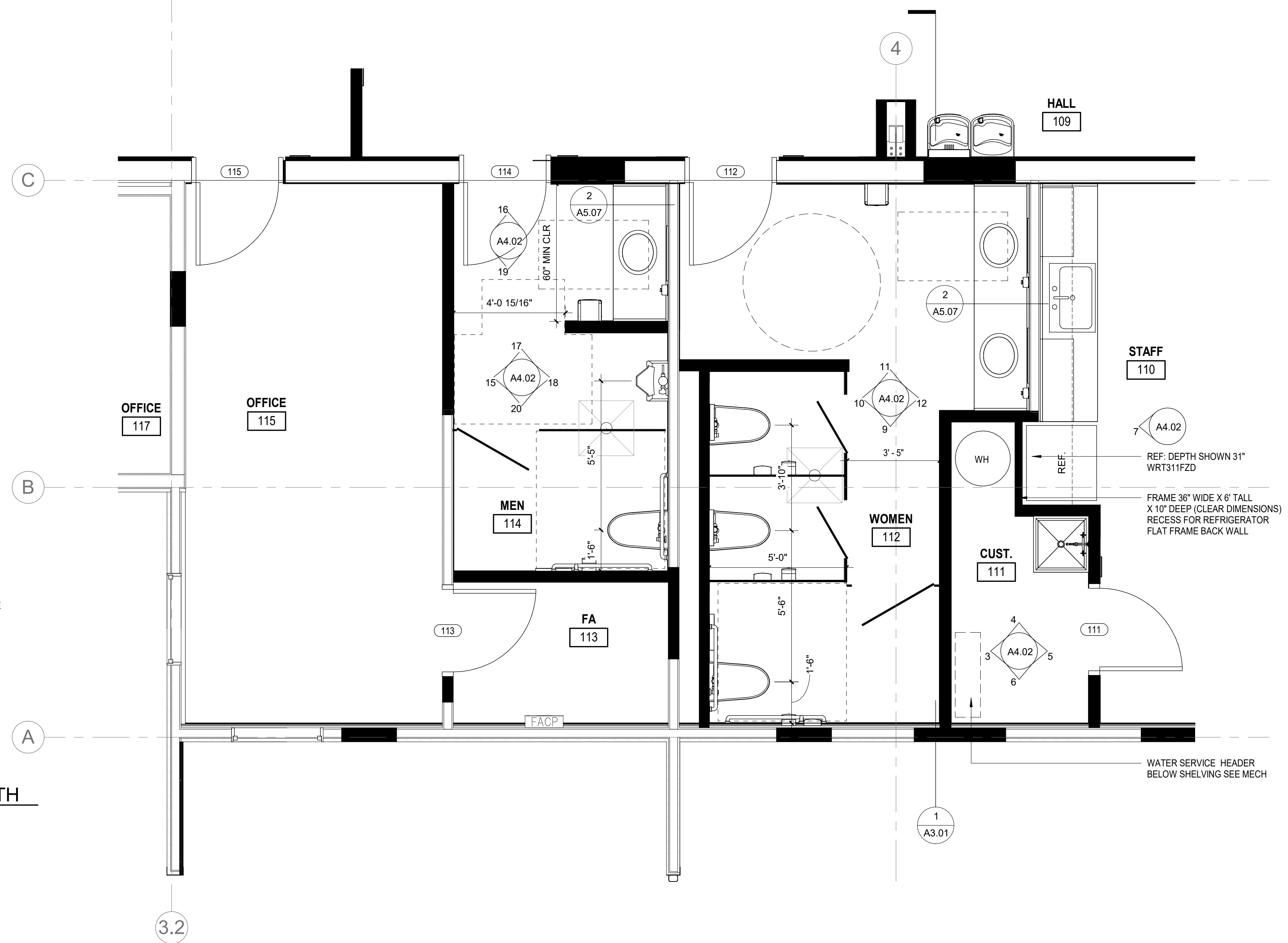
DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

BUILDING / WALL
SECTIONS

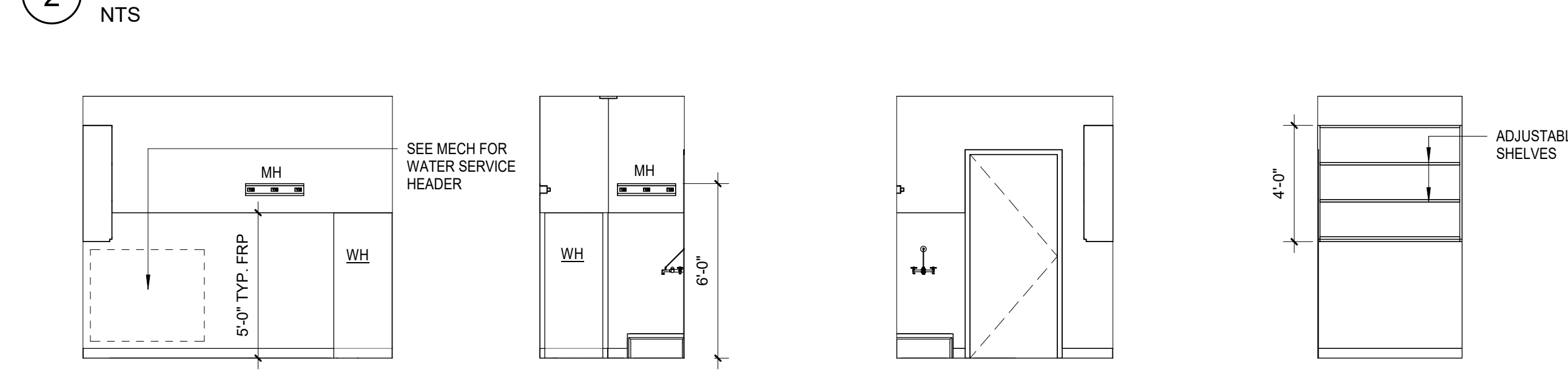
A3.02



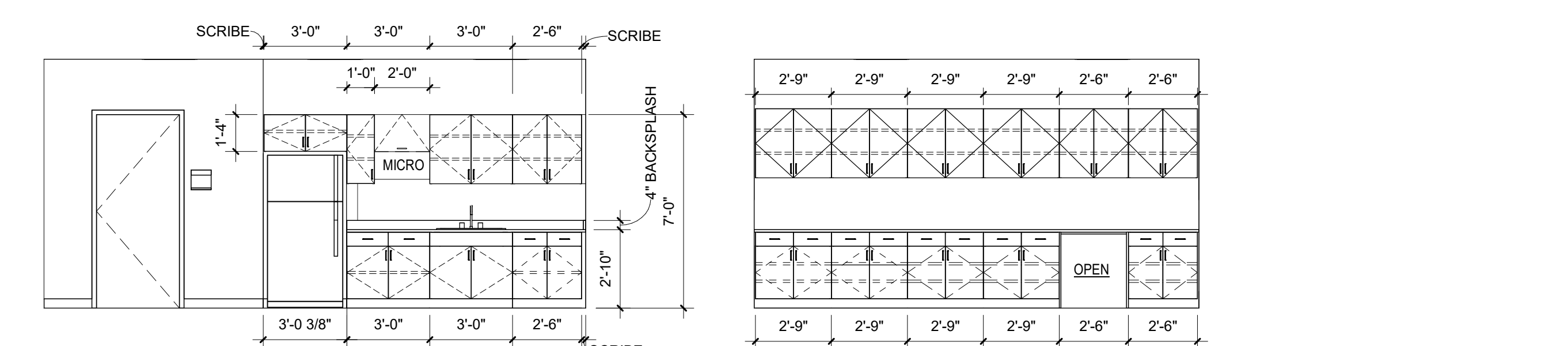
ABBR.	DESCRIPTION	MODEL	PROVIDED BY	COMMENTS
	MIRROR	SEE SPECIFICATIONS	CFCI	
GBR	GRAB BARS	SEE SPECIFICATIONS	CFCI	
MH	SHELF WITH MOP AND BROOM HOLDERS AND HOOKS	SEE SPECIFICATIONS	CFCI	
SD	SURFACE MOUNTED LIQUID SOAP DISPENSER	SEE SPECIFICATIONS	CFCI	
PTD	SURFACE MOUNTED PAPER TOWEL DISPENSER	SEE SPECIFICATIONS	CFCI	
TSCD	SURFACE MOUNTED TOILET SEAT COVER DISPENSER	SEE SPECIFICATIONS	CFCI	
TPD	SURFACE MOUNTED TOILET PAPER DISPENSER	SEE SPECIFICATIONS	CFCI	
SND	SURFACE MOUNTED SANITARY NAPKIN DISPENSER	SEE SPECIFICATIONS	CFCI	



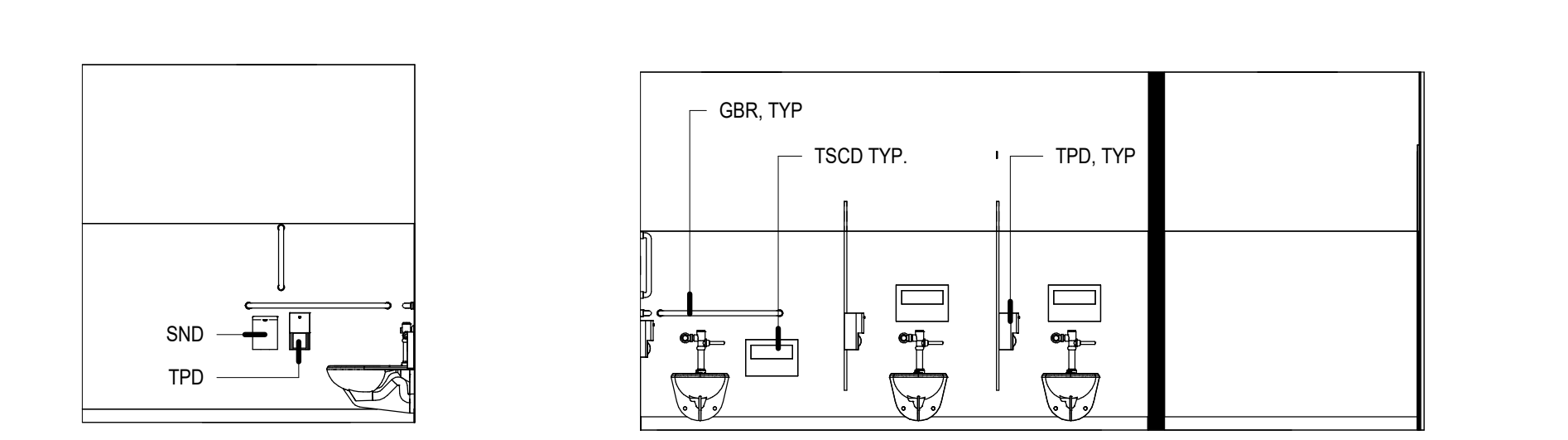
2 TOILET AND MISC. ACCESSORIES SCHEDULE



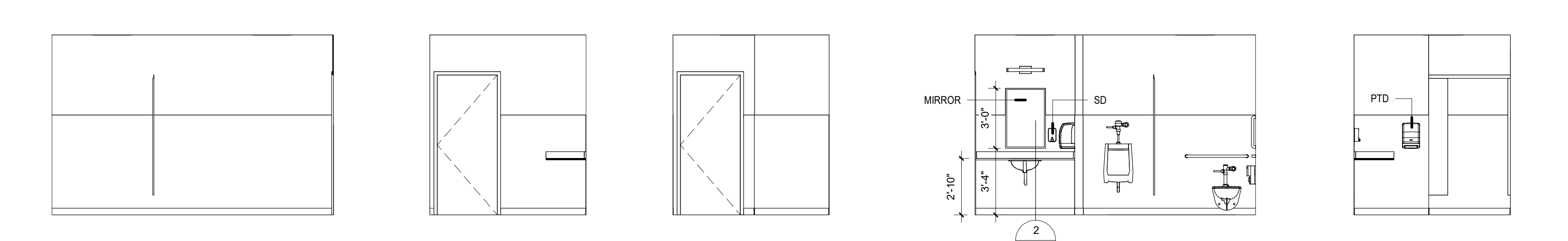
3 CUST 111 - WEST 1/4" = 1'-0"
4 CUST 111 - NORTH 1/4" = 1'-0"
5 CUST 111 - EAST 1/4" = 1'-0"
6 CUST 111 - SOUTH 1/4" = 1'-0"



7 STAFF 110 - WEST 1/4" = 1'-0"
8 COPY 122 - EAST 1/4" = 1'-0"



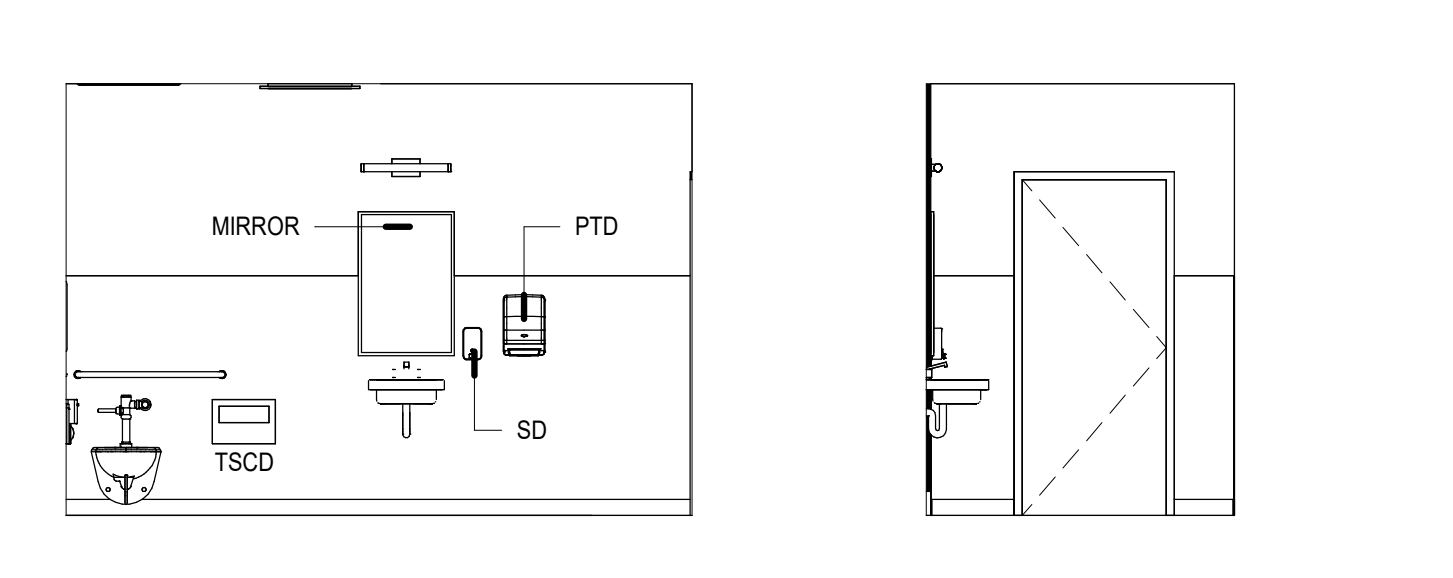
9 WOMEN 112 - SOUTH 1/4" = 1'-0"
10 WOMEN 112 - WEST 1/4" = 1'-0"
11 WOMEN 112 - NORTH 1/4" = 1'-0"
12 WOMEN 112 - EAST 1/4" = 1'-0"



15 MEN 114 - WEST 1/4" = 1'-0"
16 MEN 114 - NORTH 1/4" = 1'-0"
17 MEN 114 - NORTH B 1/4" = 1'-0"
18 MEN 114 - EAST 1/4" = 1'-0"
19 MEN 114 - SOUTH 1/4" = 1'-0"
20 MEN 114 - SOUTH B 1/4" = 1'-0"



13 TOILET 103 - EAST 1/4" = 1'-0"
14 TOILET 103 - NORTH 1/4" = 1'-0"

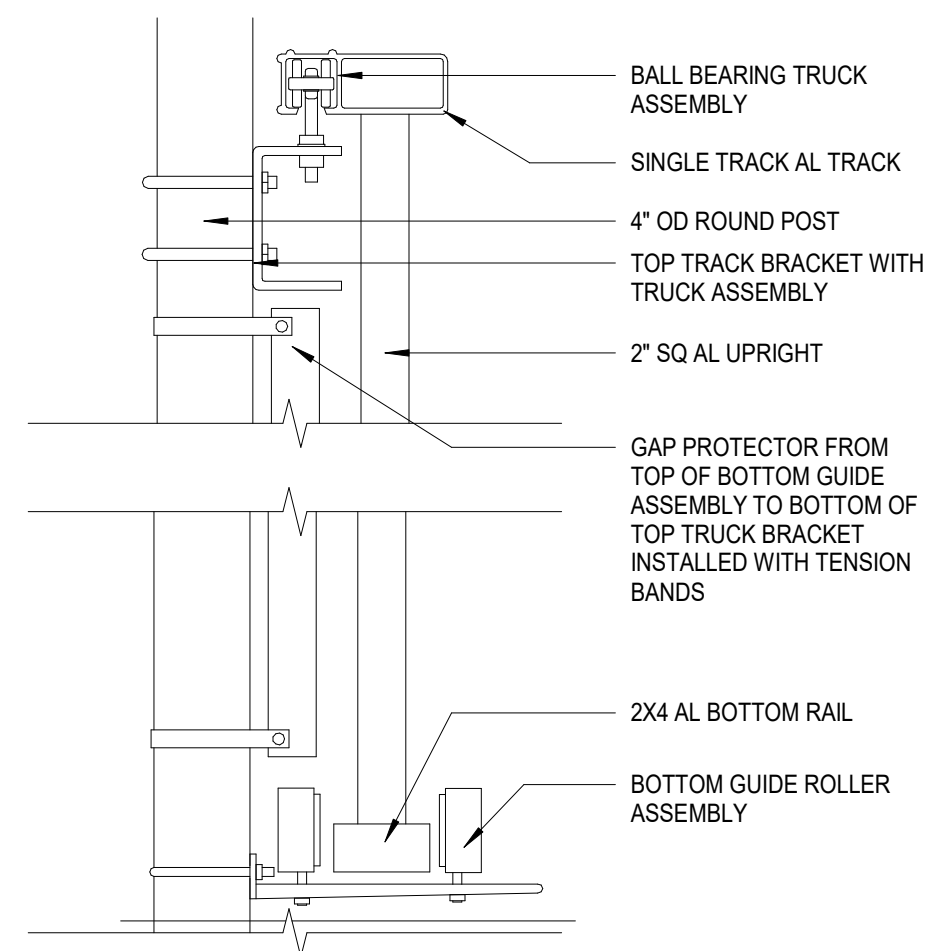


21 TOILET 103 - SOUTH 1/4" = 1'-0"
22 TOILET 103 - WEST 1/4" = 1'-0"



1 ENLARGED PLAN - RESTROOMS
 3/8" = 1'-0"

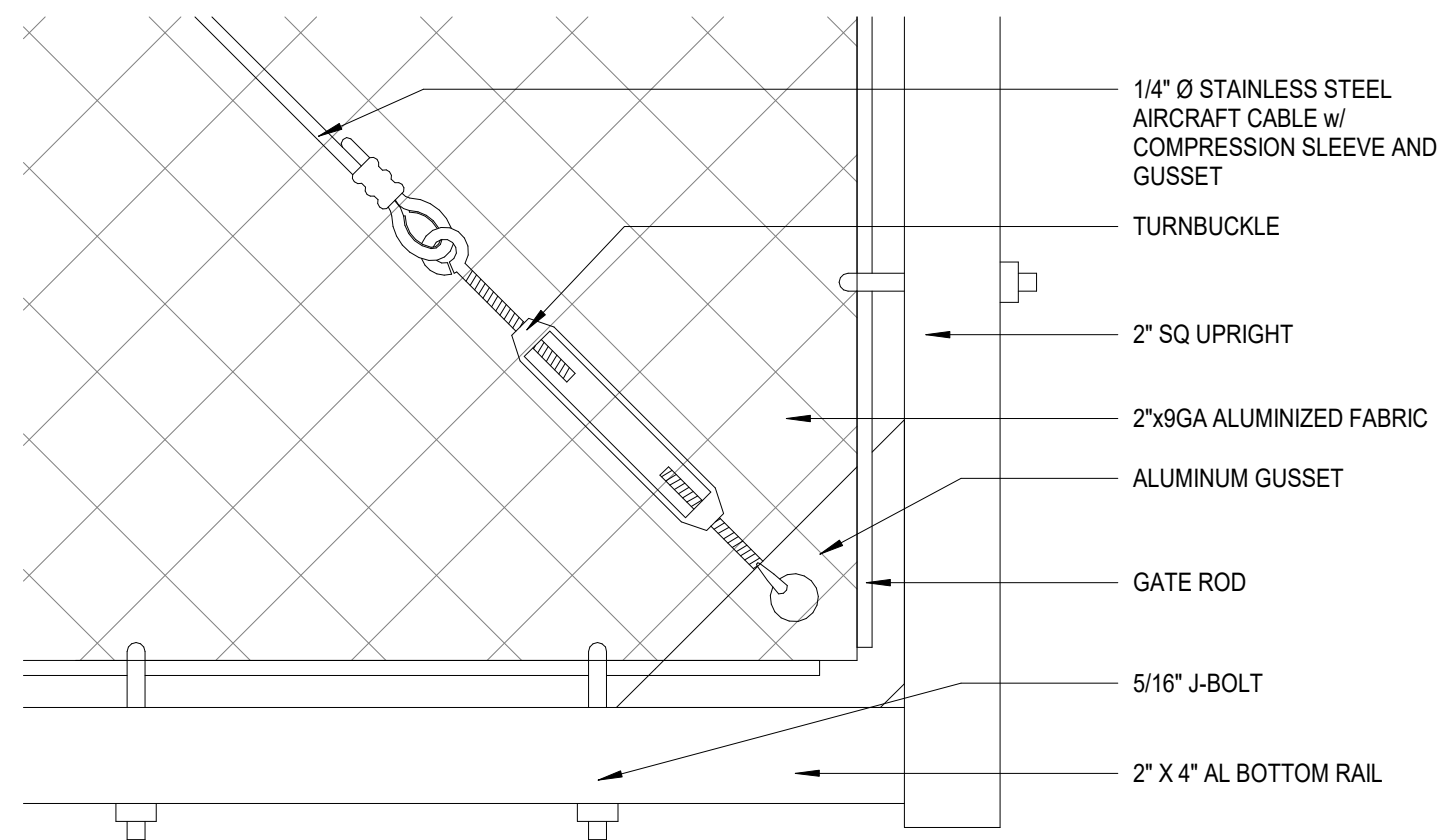
REVISION SCHEDULE	



BOTTOM GUIDE ASSEMBLY

8 SLIDE GATE - BOTTOM GUIDE ASSEMBLY

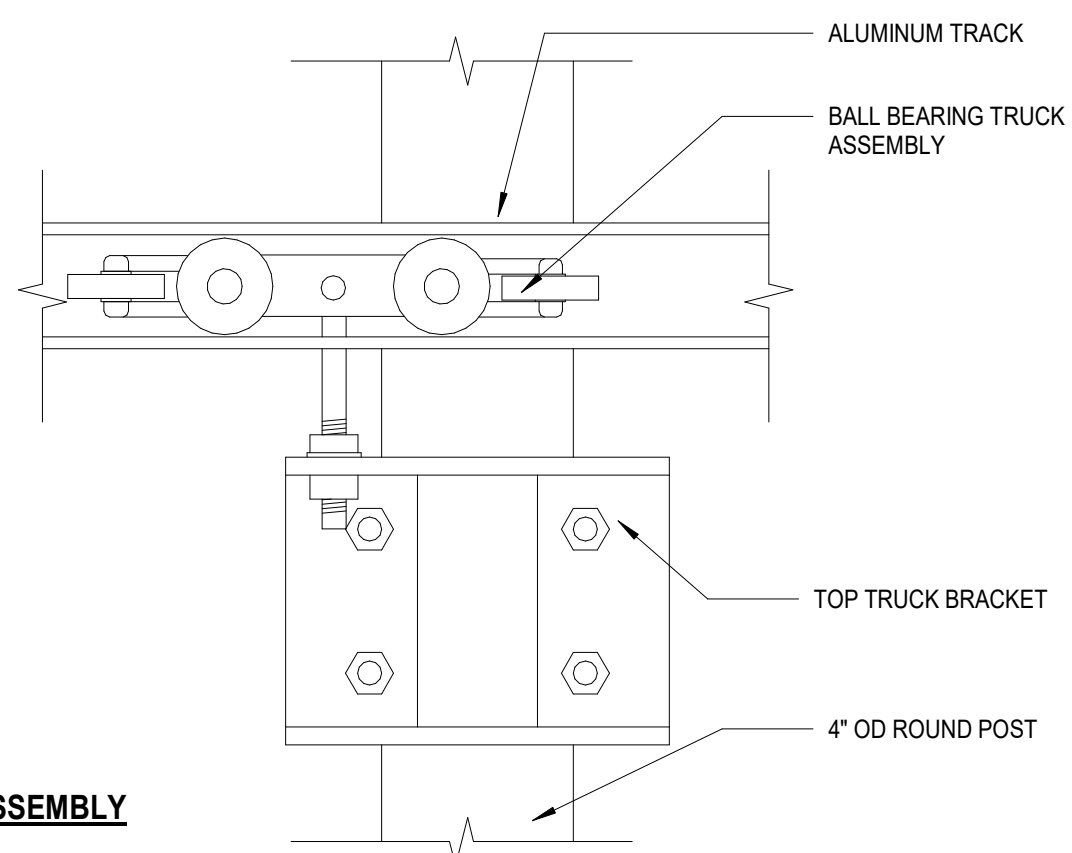
1 1/2" = 1'-0"



TURNBUCKLE ASSEMBLY

7 SLIDE GATE - TURNBUCKLE ASSEMBLY

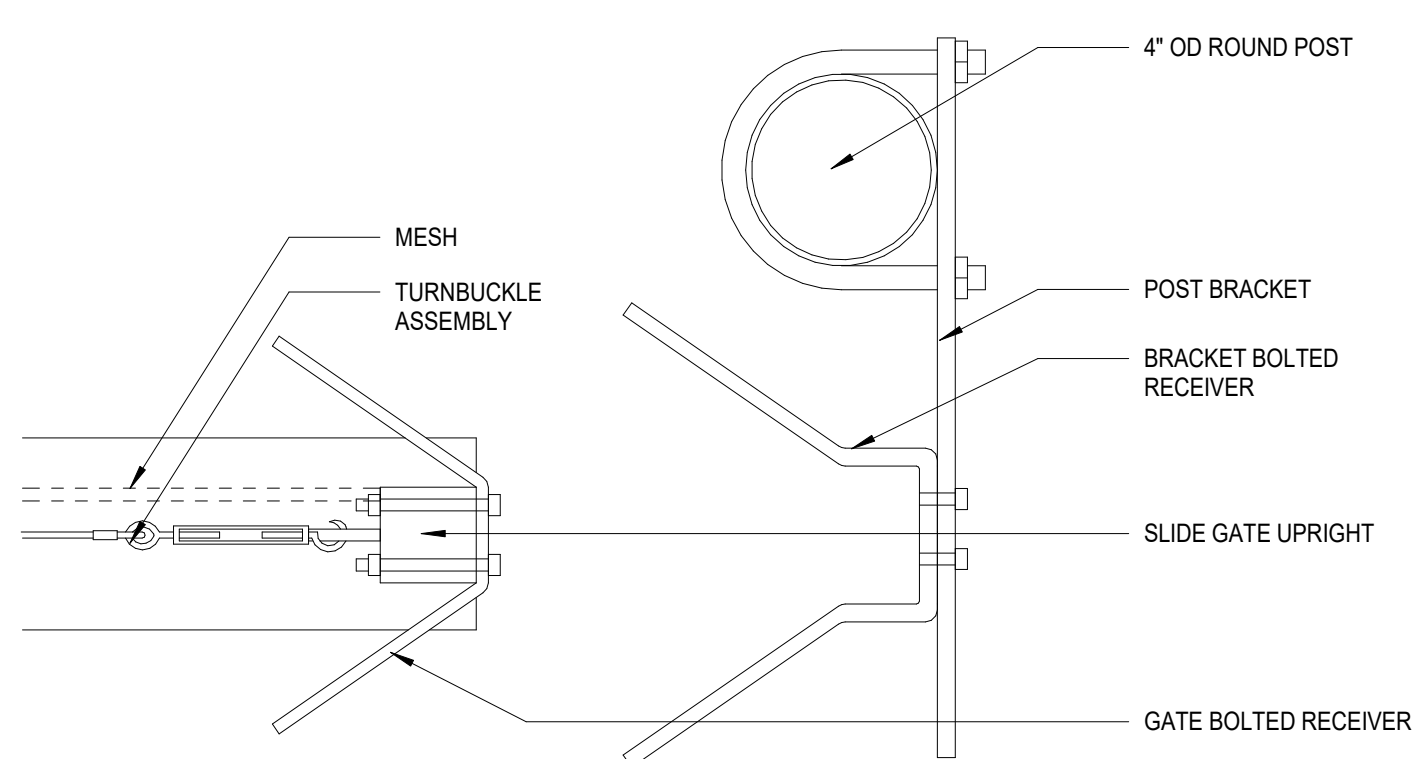
3" = 1'-0"



TOP TRUCK ASSEMBLY

6 SLIDE GATE - TRUCK ASSEMBLY

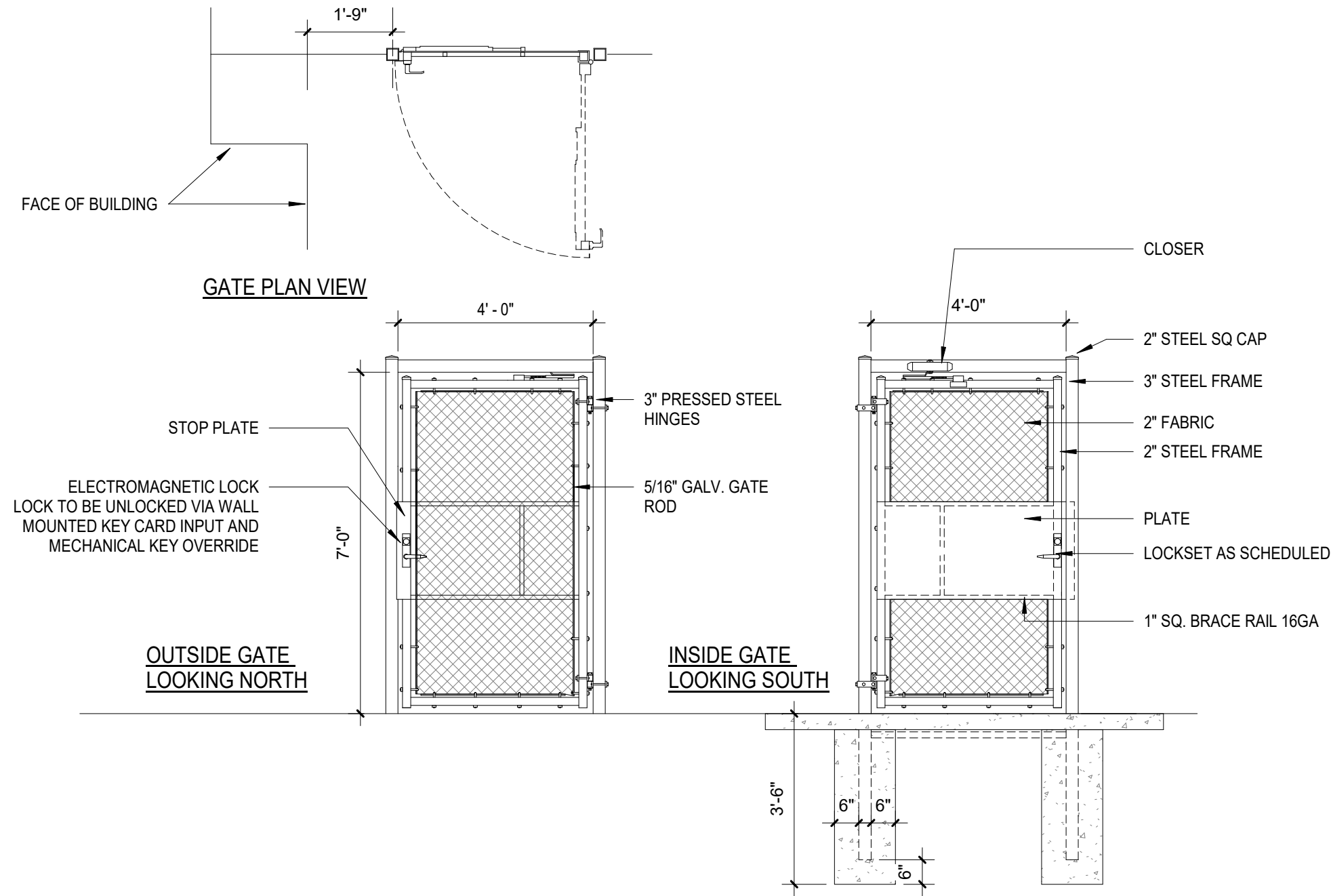
3" = 1'-0"



LATCH ASSEMBLY

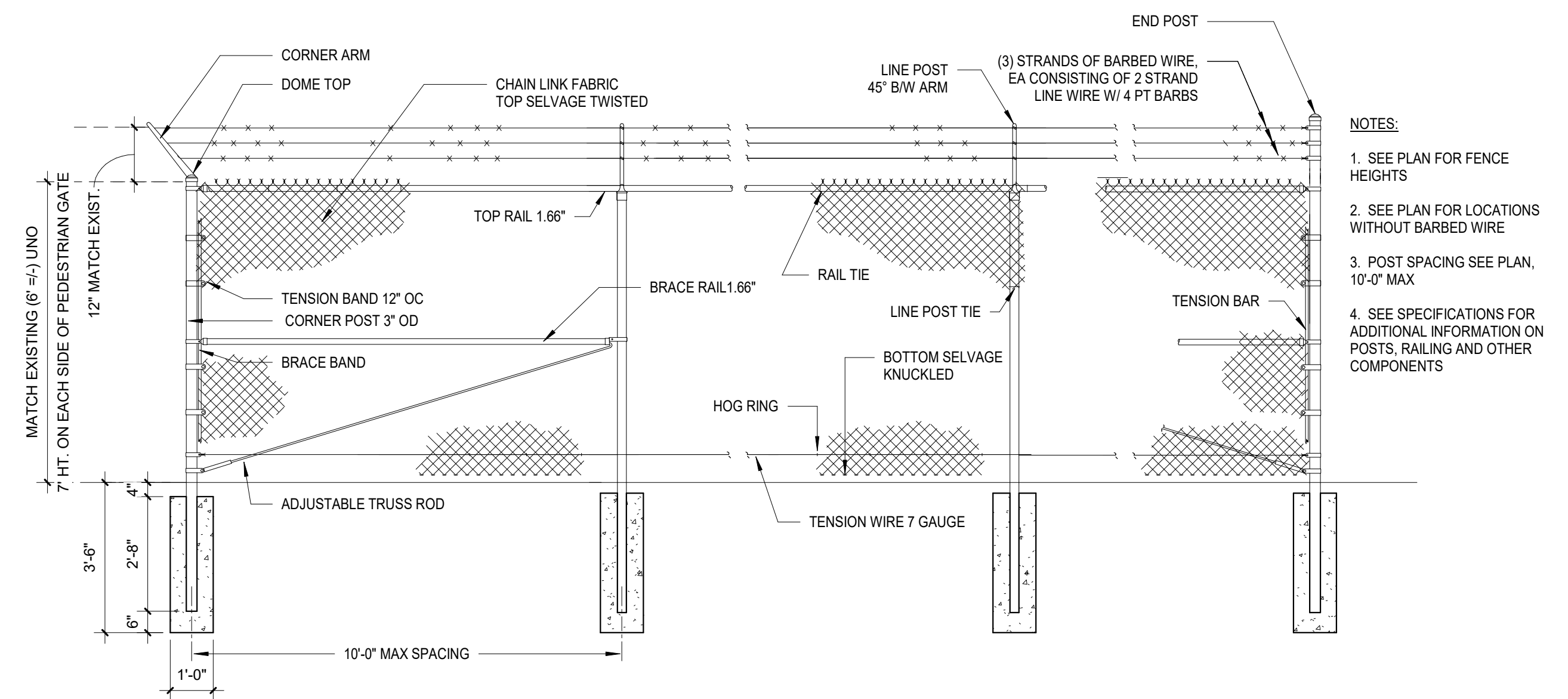
5 SLIDE GATE - LATCH ASSEMBLY

3" = 1'-0"



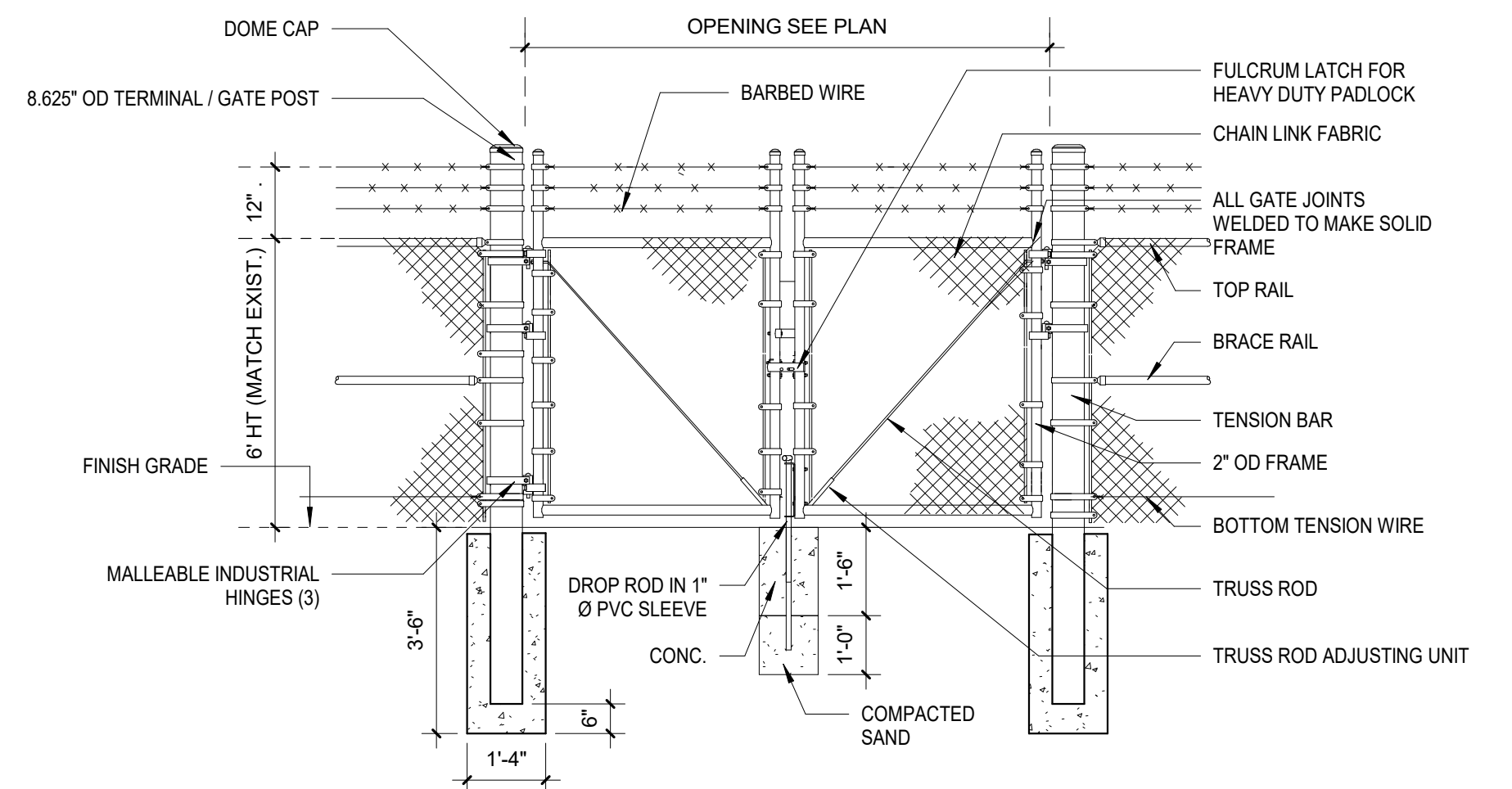
1 CHAIN LINK FENCE - PRE-HUNG PEDESTRIAN GATE

3/8" = 1'-0"



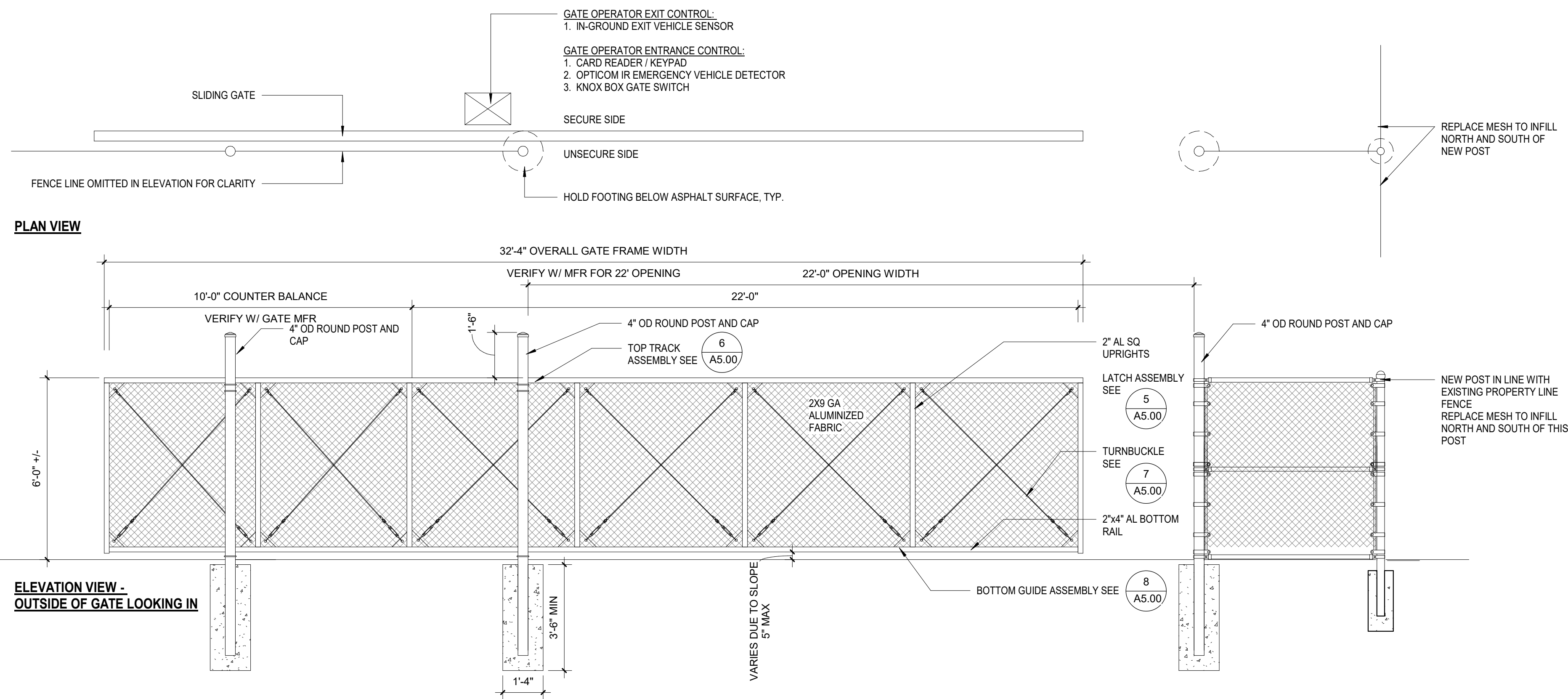
2 CHAINLINK FENCE (TYPICAL)

3/8" = 1'-0"



3 CHAINLINK FENCE - VEHICLE GATE

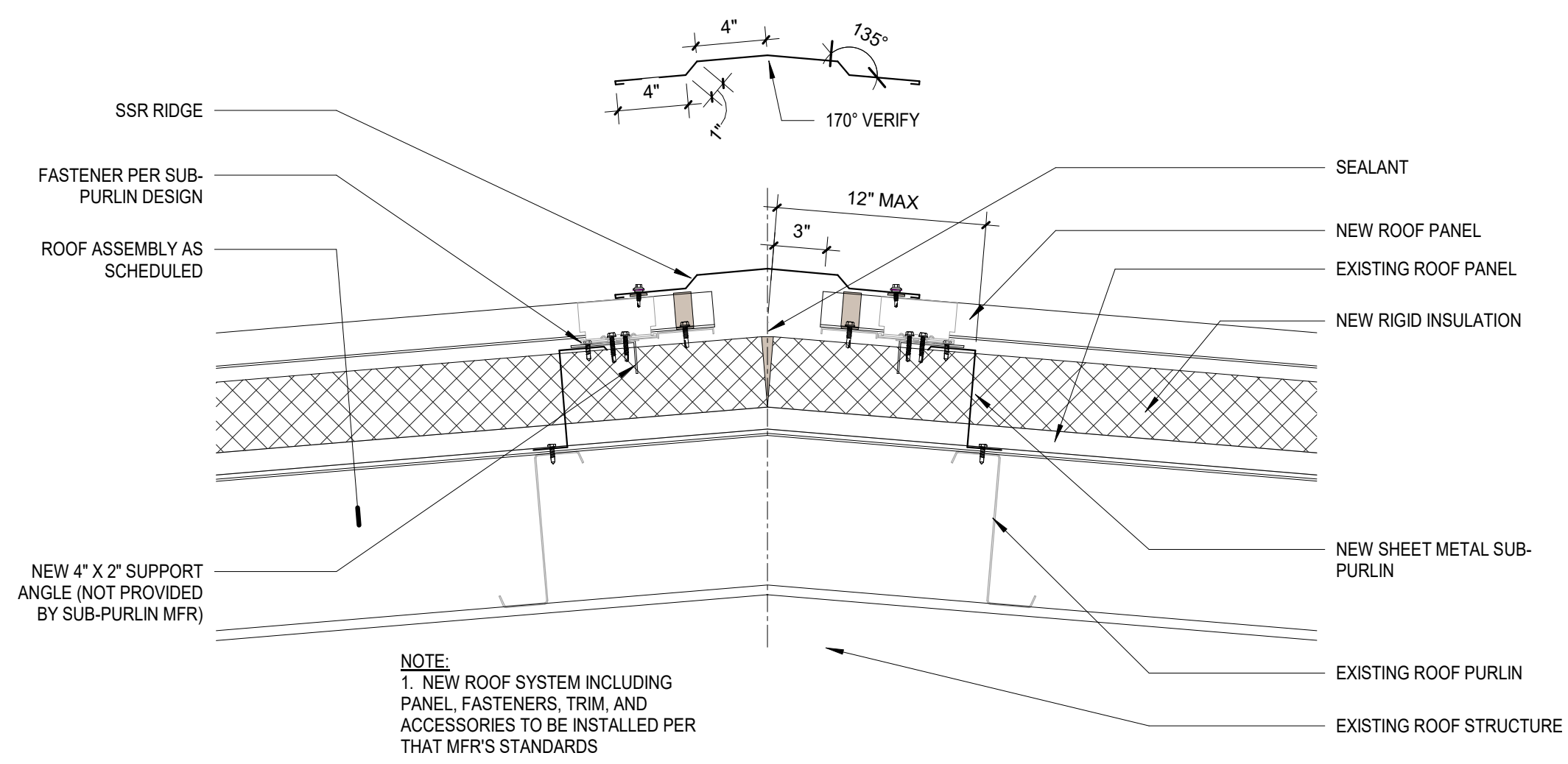
3/8" = 1'-0"



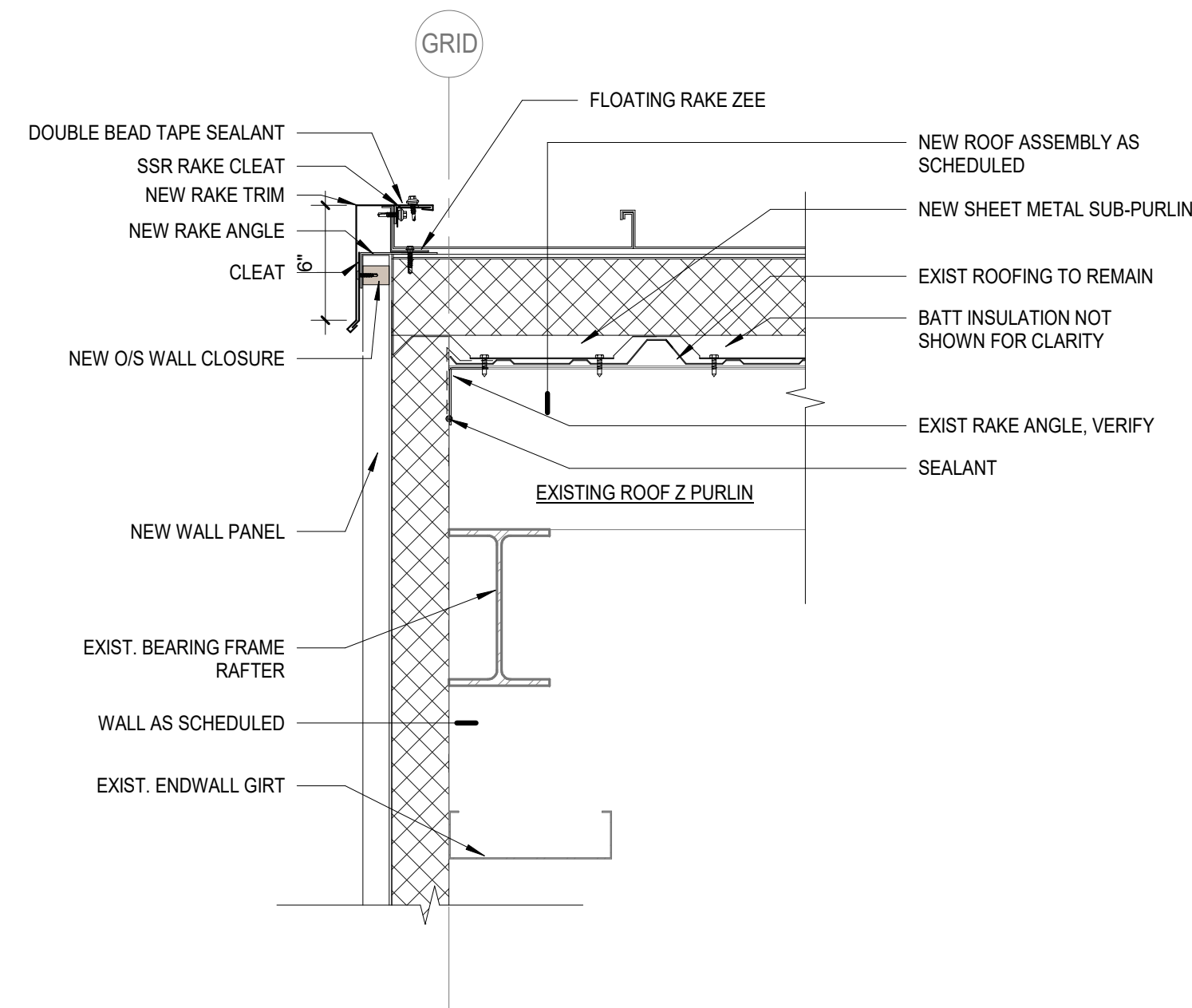
4 SLIDE GATE - ELEVATION

3/8" = 1'-0"

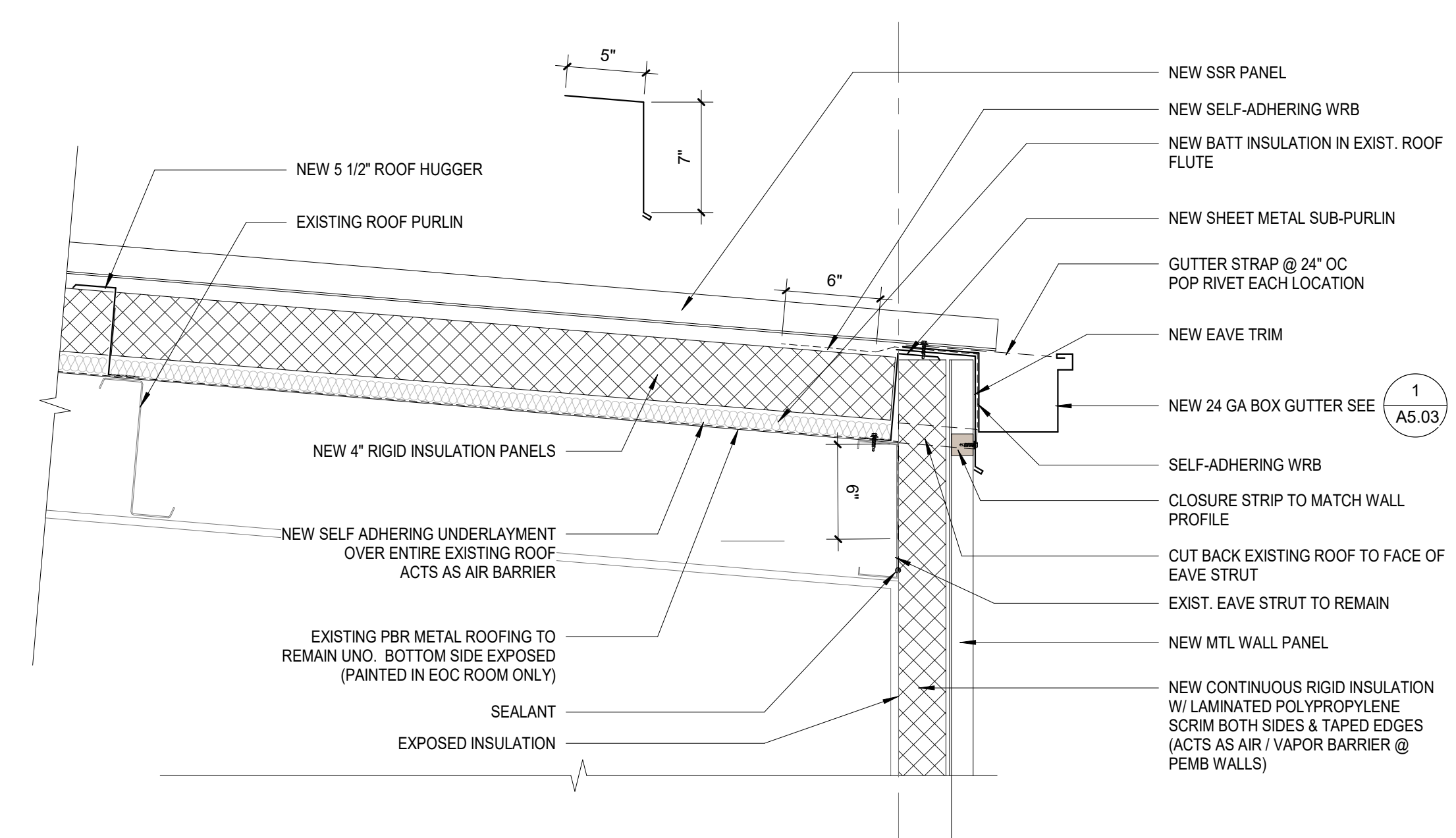
REVISION SCHEDULE	



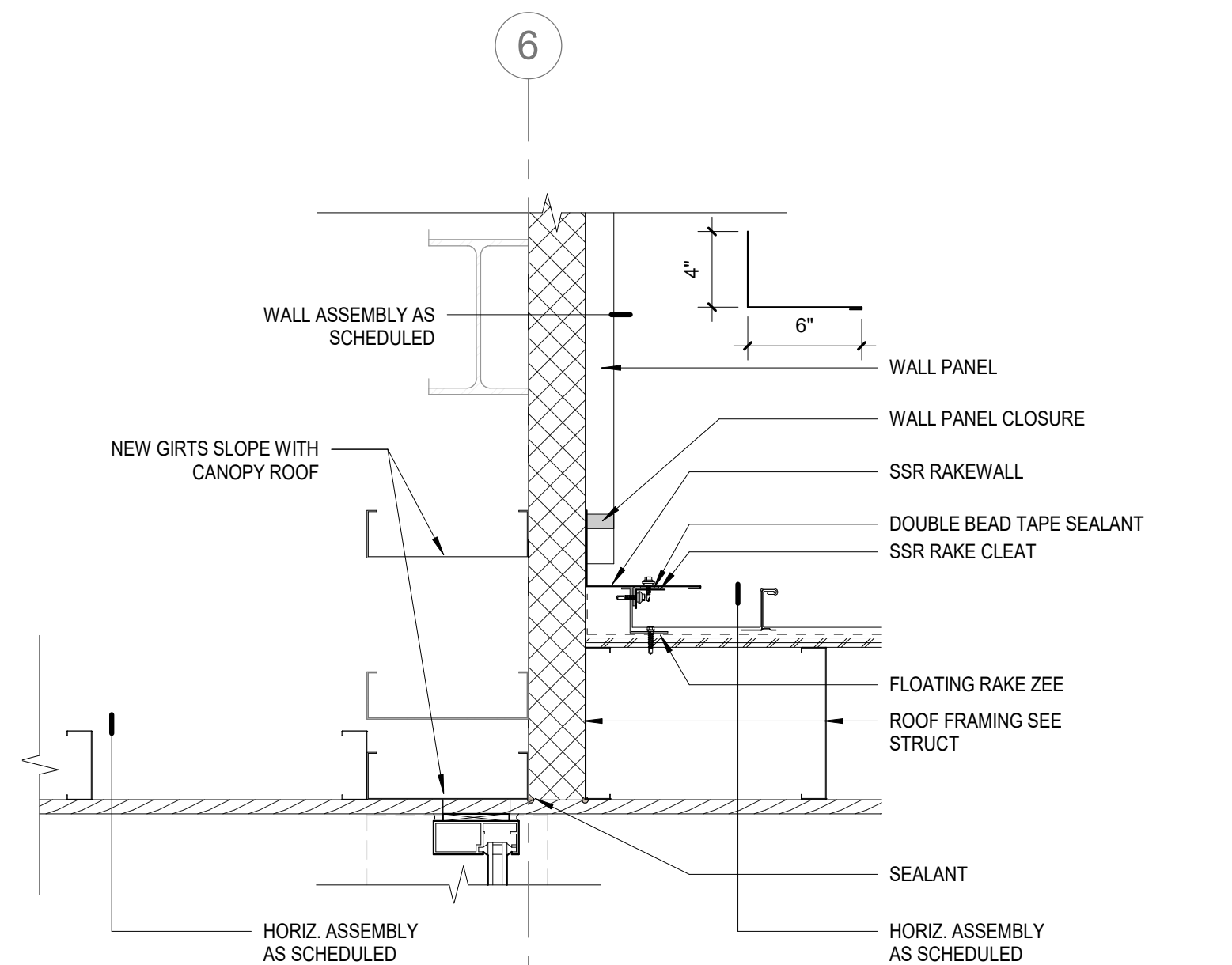
6 DETAIL - RIDGE
1 1/2" = 1'-0"



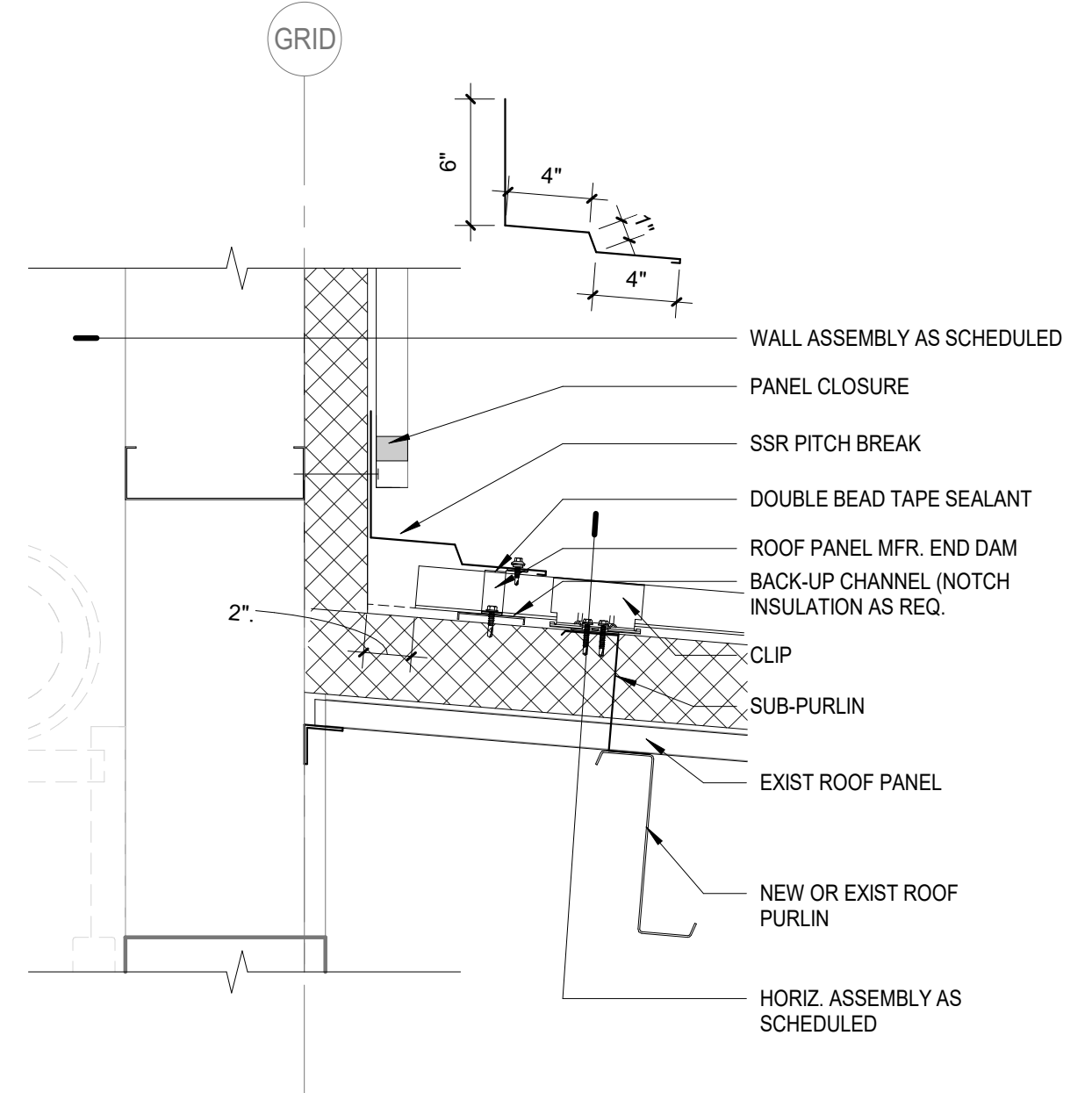
4 DETAIL - TYP. ROOF @ RAKE / ENDWALL
1 1/2" = 1'-0"



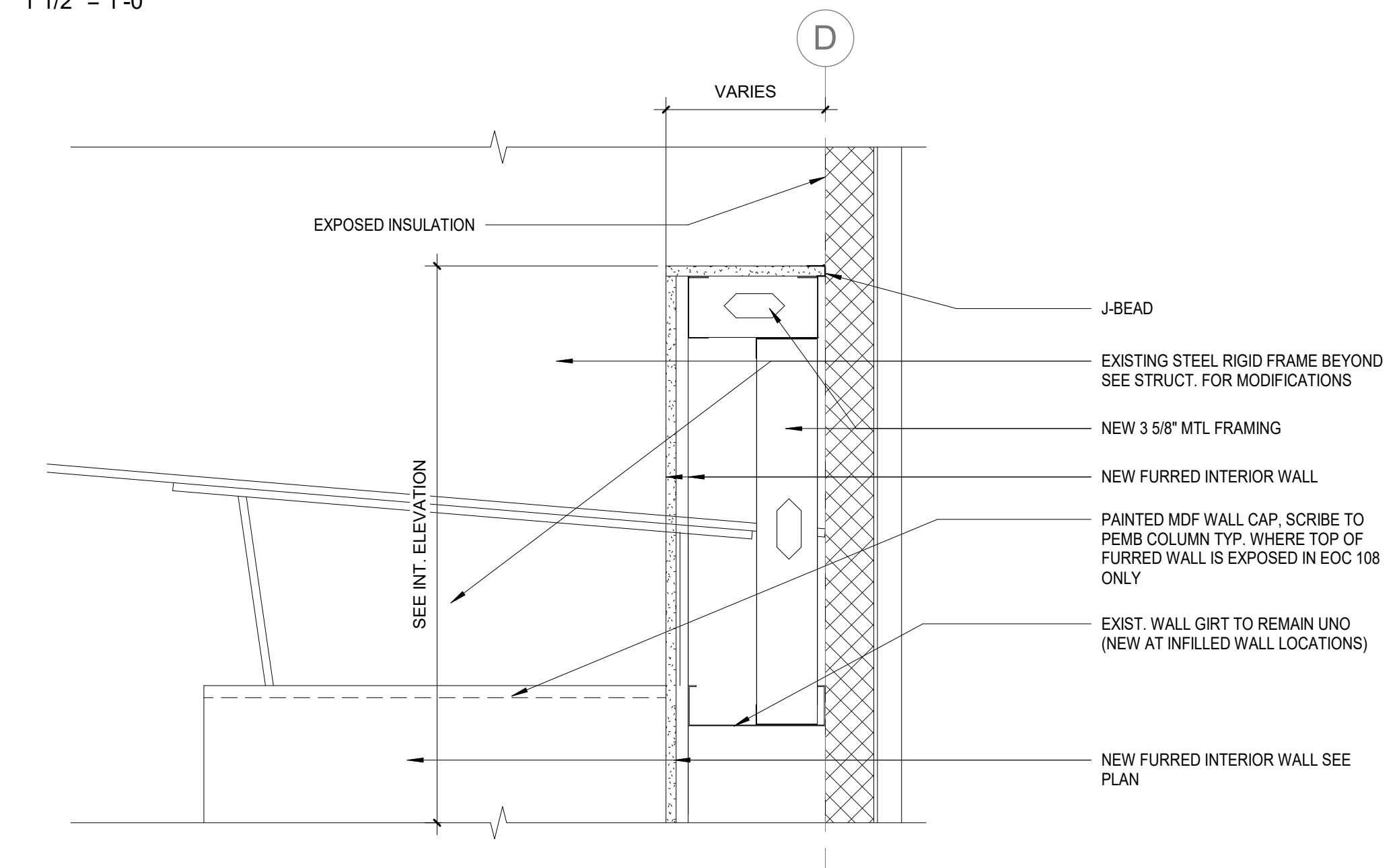
1 DETAIL - TYP. EAVE @ MAIN STRUCTURE
1 1/2" = 1'-0"



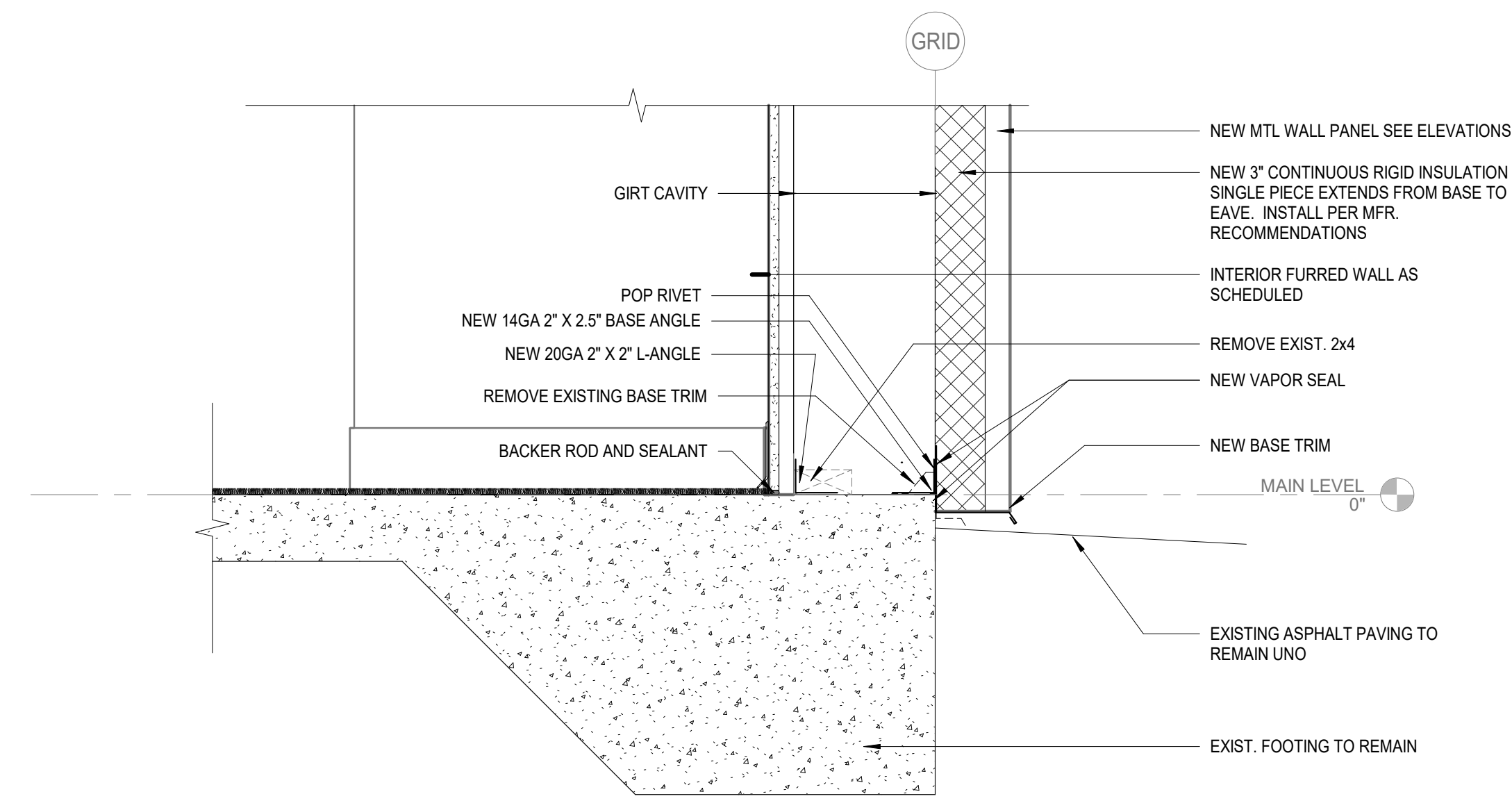
7 DETAIL - ROOF @ RAKEWALL
1 1/2" = 1'-0"



5 DETAIL - TYP. ROOF @ END WALL
1 1/2" = 1'-0"



2 DETAIL - EOC 108 T.O. CHANNEL FURRED WALL
1 1/2" = 1'-0"



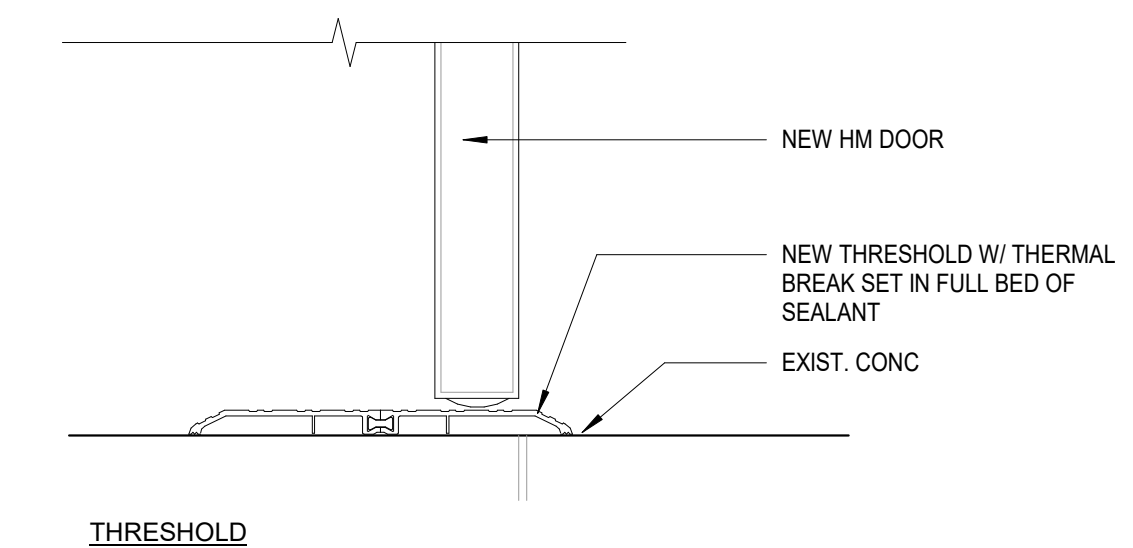
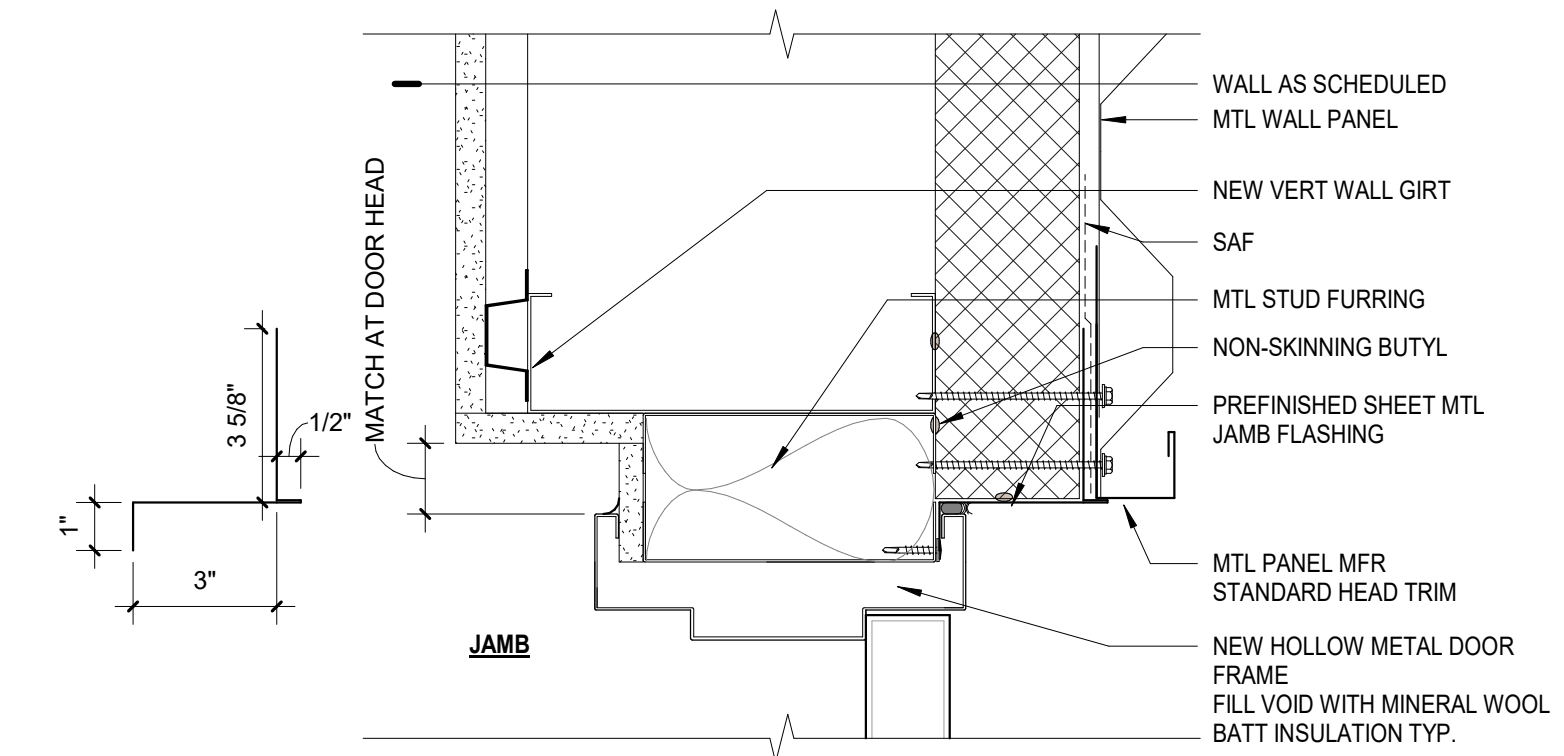
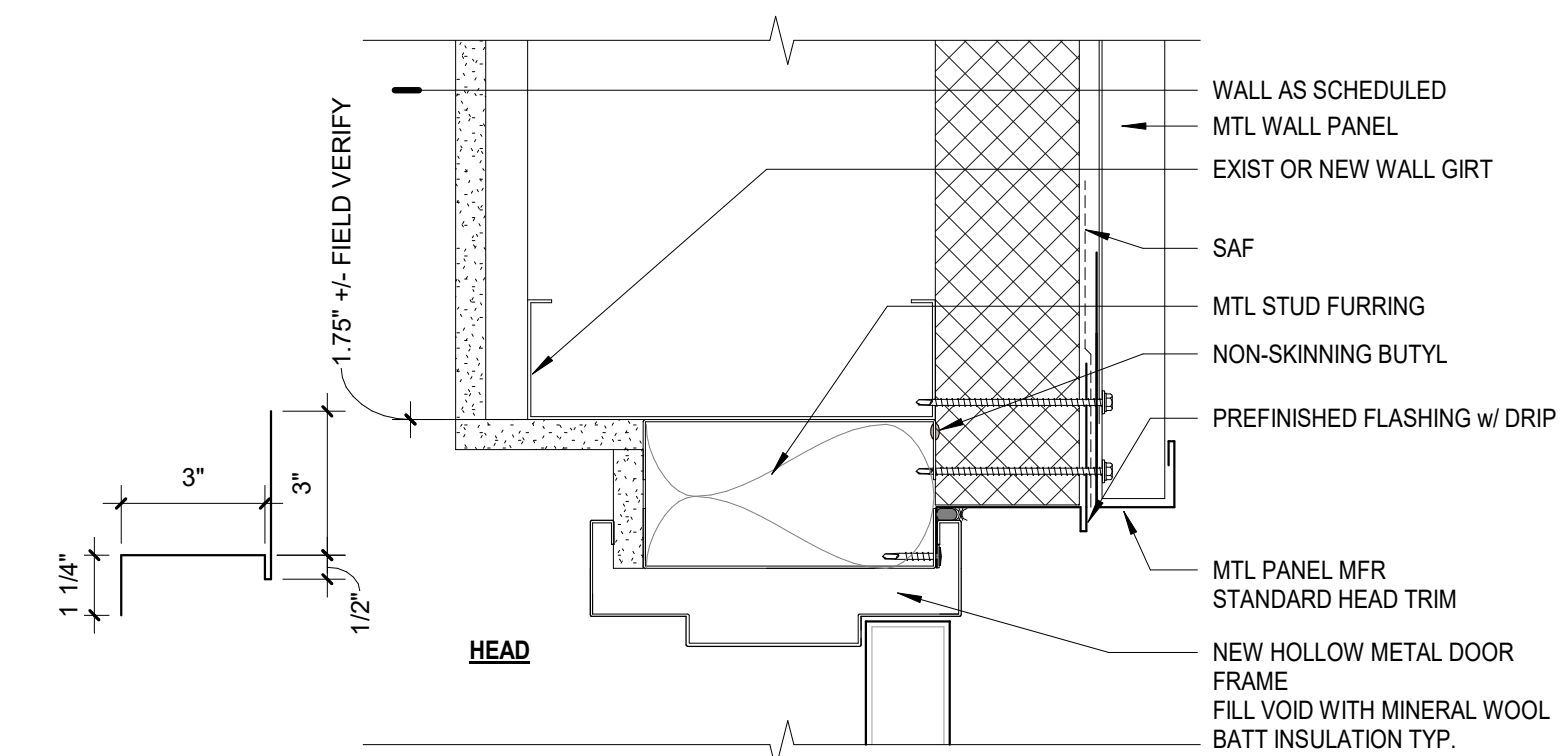
3 DETAIL - TYP. WALL @ BASE
1 1/2" = 1'-0"

BP 23-00525

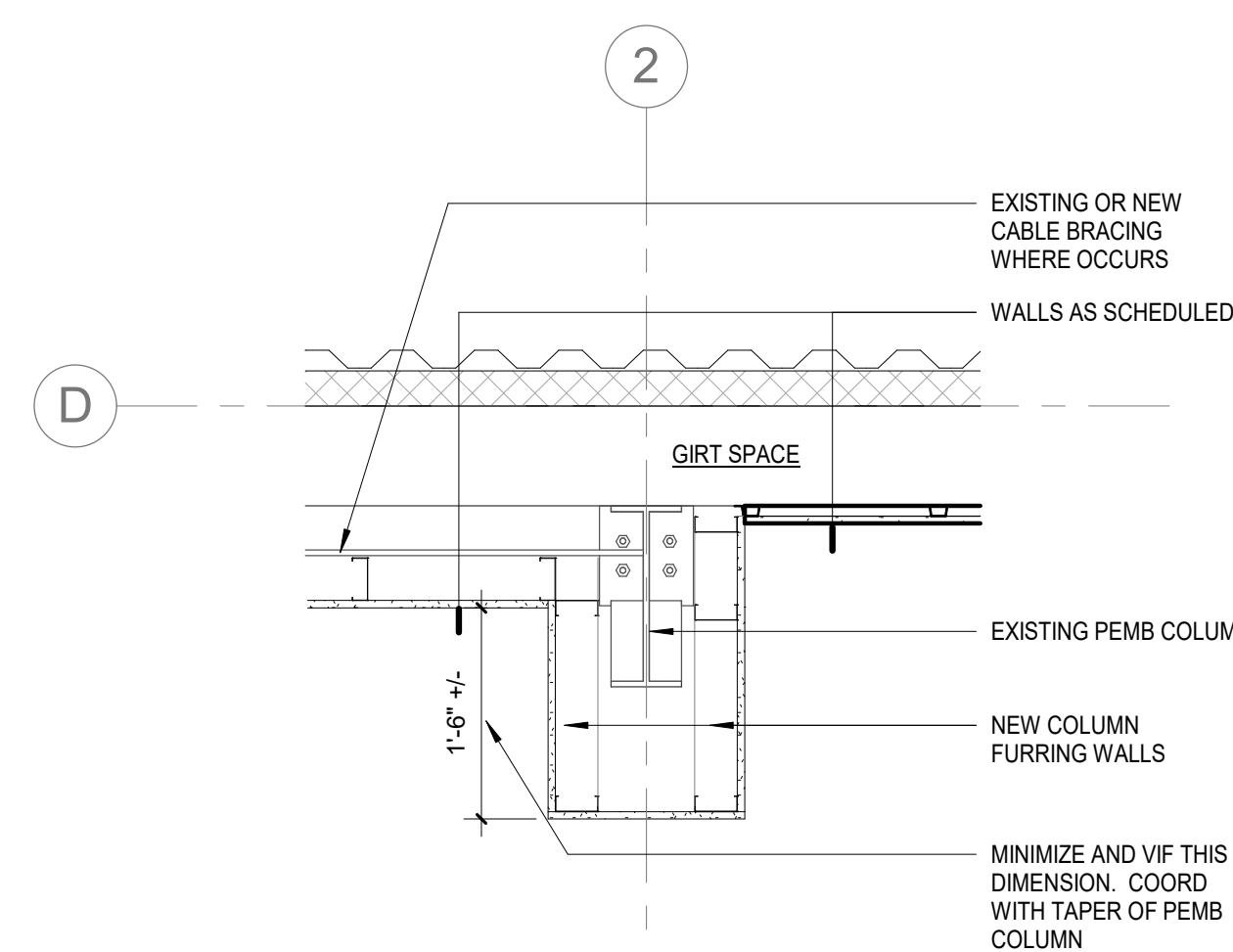
REVISION SCHEDULE	

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DATE: JULY 7, 2023
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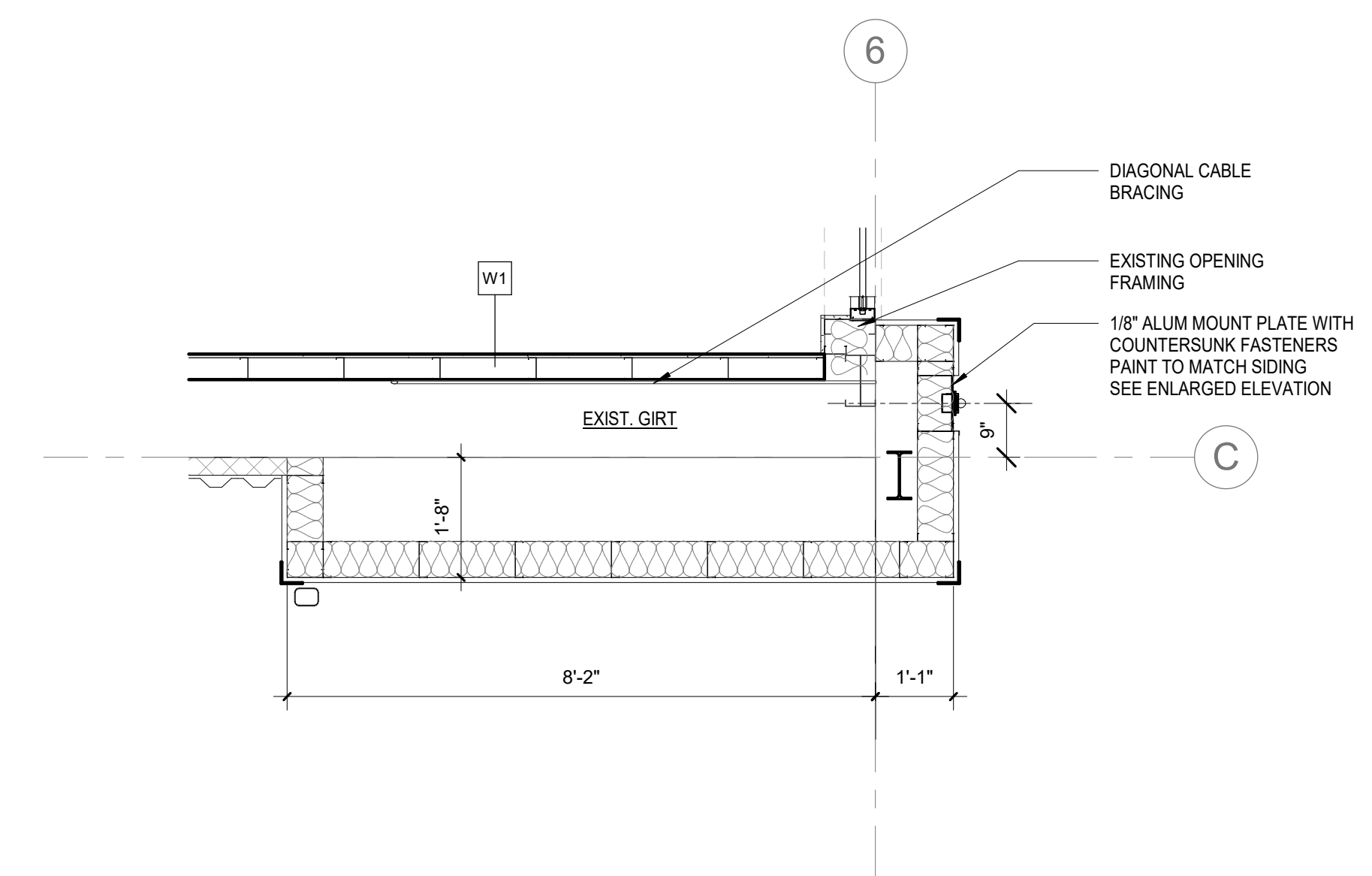
EXTERIOR DETAILS



1 DETAIL- HM EXT DOOR
3" = 1'-0"



3 PLAN DETAIL - TYP @ PEMB COLUMN
3/4" = 1'-0"



2 PLAN DETAIL - SE CORNER
1/2" = 1'-0"

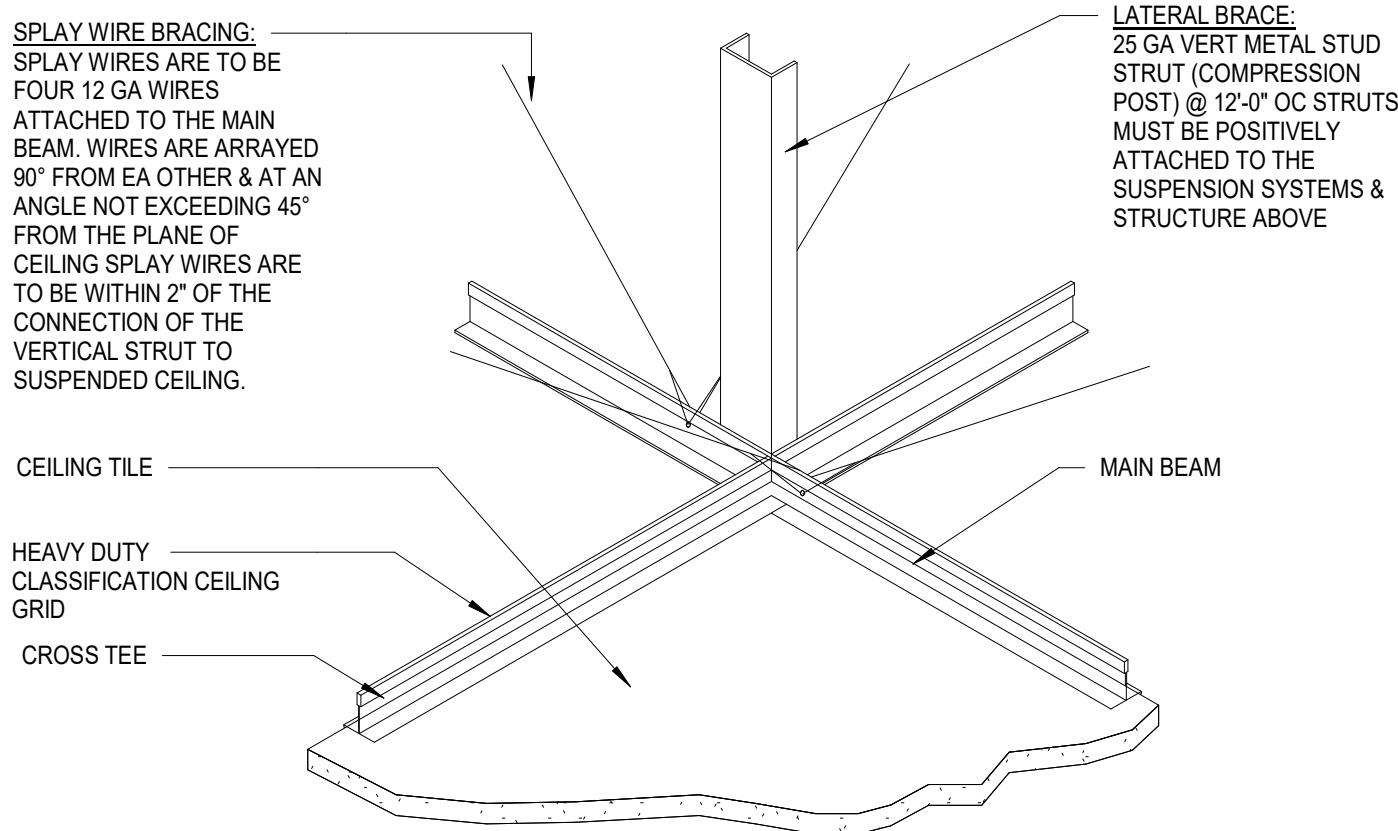
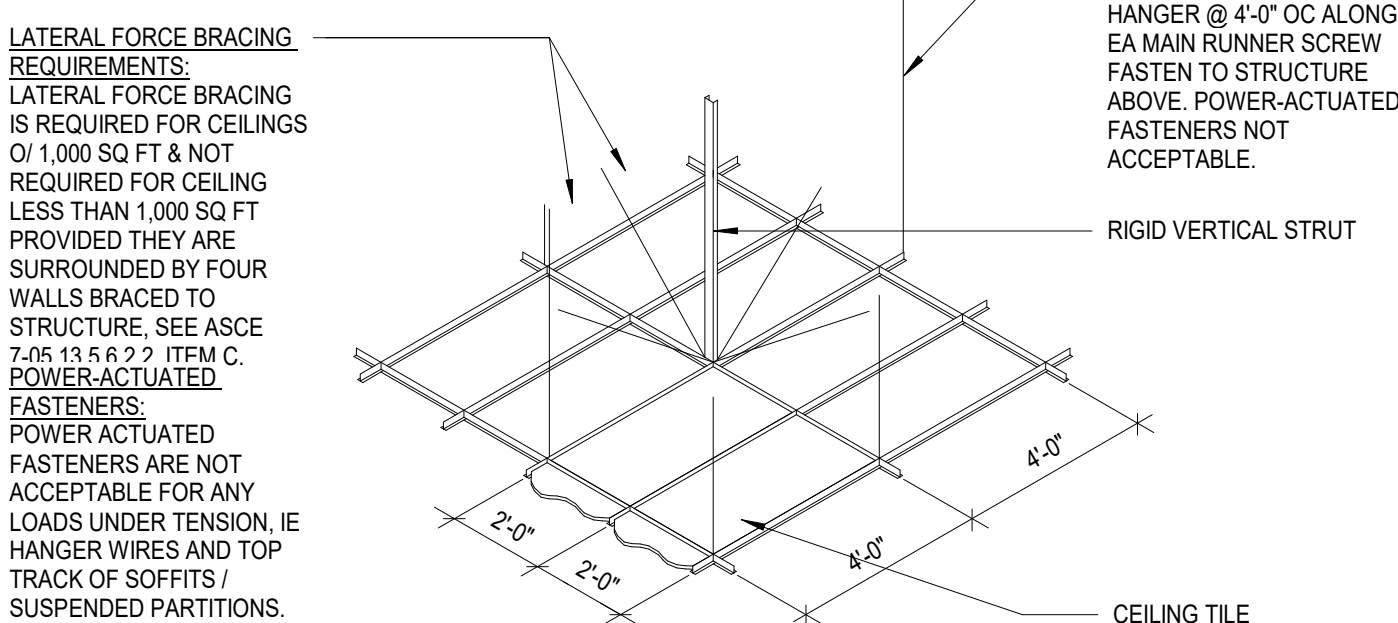
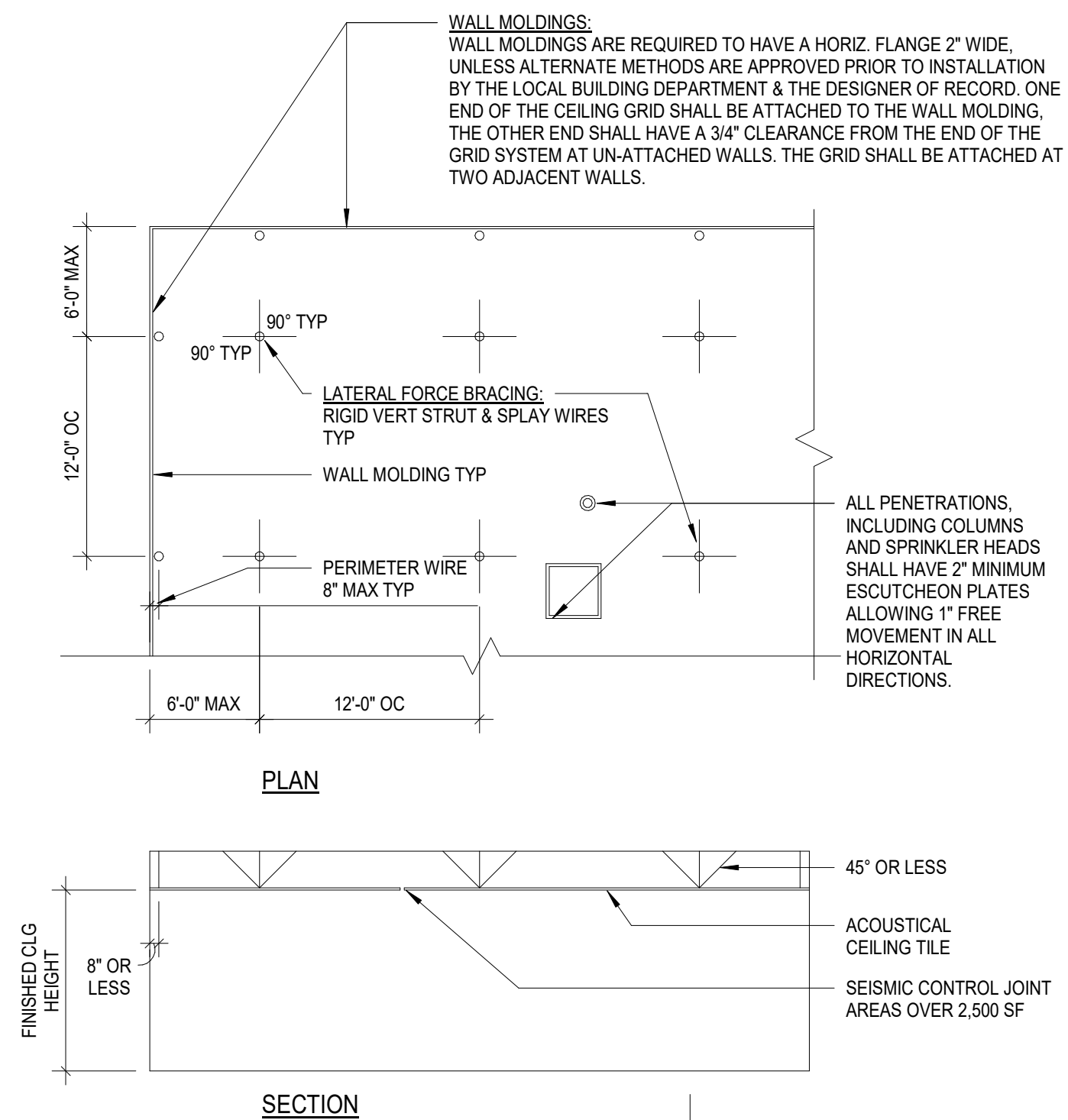
BP 23-00525

REVISION SCHEDULE	

BID SET
DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

EXTERIOR DETAILS /
PLAN DETAILS

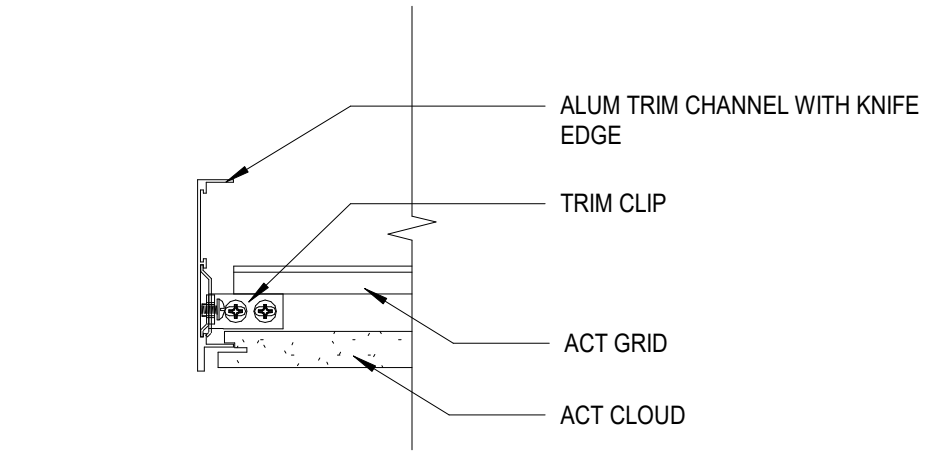
A5.05



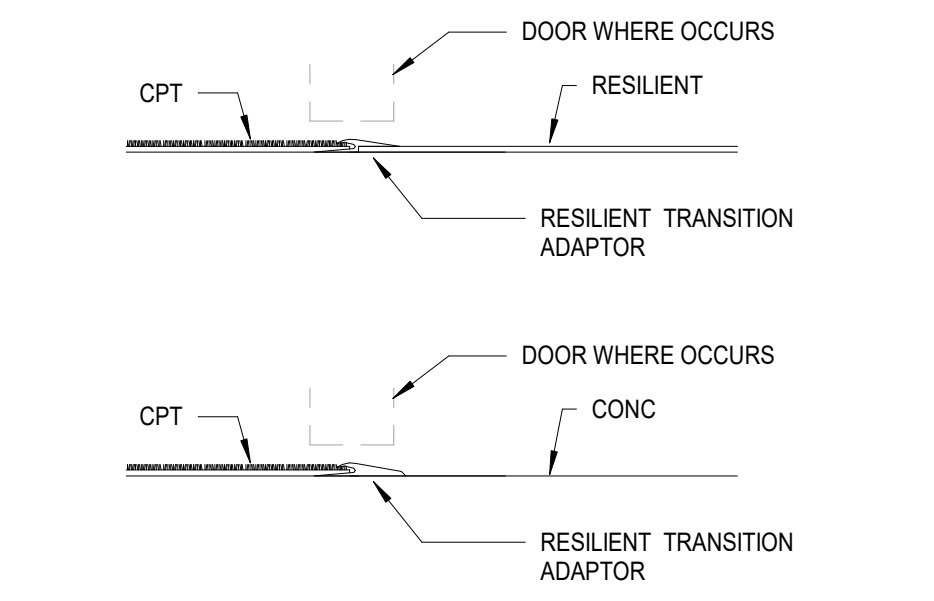
MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS FOR 1\"/>

NOTES:
 A STRUT, WITH STIFFNESS ADEQUATE TO RESIST THE VERTICAL LOADS IMPOSED, SHALL BE ATTACHED TO THE SUSPENSION SYSTEM & TO THE STRUCTURE ABOVE AT EACH BRACING LOCATION.
 DIRECTION AND THE FIRST POINT SHALL BE WITHIN 6 FEET OF EACH WALL.
 SPREADER (SPACER) BARS OR OTHER MEANS APPROVED BY THE LOCAL BUILDING DEPT. SHALL BE USED TO PREVENT ENDS OF MAIN BEAMS AT PERIMETER WALLS FROM SPREADING OPEN DURING A SEISMIC EVENT. PERIMETER WIRES SHALL NOT BE USED IN LIEU OF SPREADER BARS. SEE CISCA ZONES 3 - 4.
 LIGHT FIXTURES & MECHANICAL SERVICES: ATTACH PER "GUIDELINES FOR SEISMIC RESTRAINT FOR DIRECT HUNG SUSPENDED CEILING ASSEMBLIES - SEISMIC ZONES 3 & 4" (MOST CURRENT) BY CEILING & INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION (CISCA).
 SUSPENDED CEILING INSTALLATION SHALL BE INSTALLED PER IBC 2018, ASTM C 635 & ASTM C636, ASCE 7-05 & CISCA ZONES 3-4.
 SEISMIC SEPARATION JOINTS: FOR CEILING EXCEEDING 2,500 SQ FT, A SEISMIC JOINT OR FULL HEIGHT WALL PARTITION THAT BREAKS THE CEILING SHALL BE PROVIDED UNLESS ANALYSES ARE PERFORMED OF THE CEILING BRACING SYSTEM, CLOSURE ANGLES & PENETRATIONS TO PROVIDE SUFFICIENT CLEARANCE. SEE ASCE 7-05 13.5.6.2.2, ITEM D.
 CHANGES IN CEILINGS PLANES WILL REQUIRE POSITIVE BRACING. SEE ASCE 7-05 13.5.6.2.2 ITEM F.
 PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN 6 FEET IN HEIGHT SHALL BE LATERALLY BRACED TO THE STRUCTURE. BRACING SHALL BE INDEPENDENT OF THE CEILING SPLAY BRACING SYSTEM, SEE ASCE 7-05 13.5.8.1.

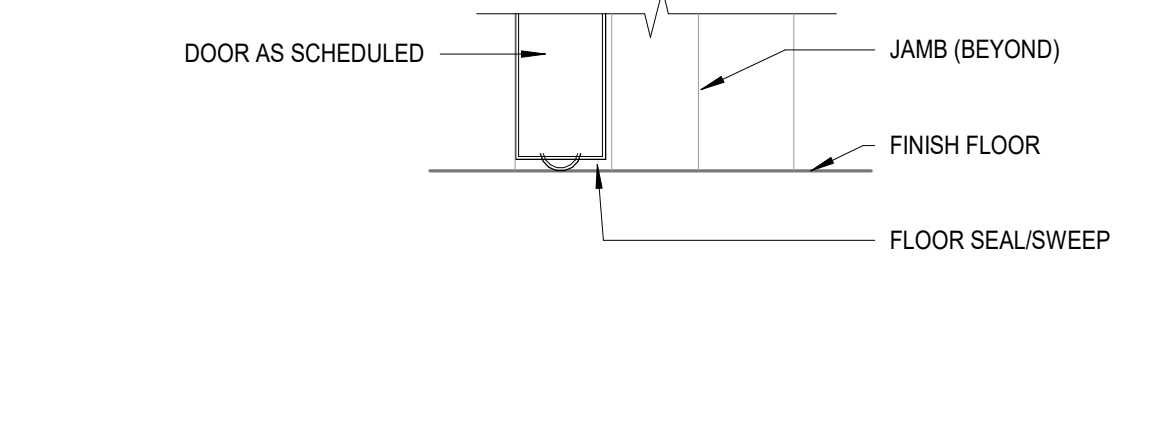
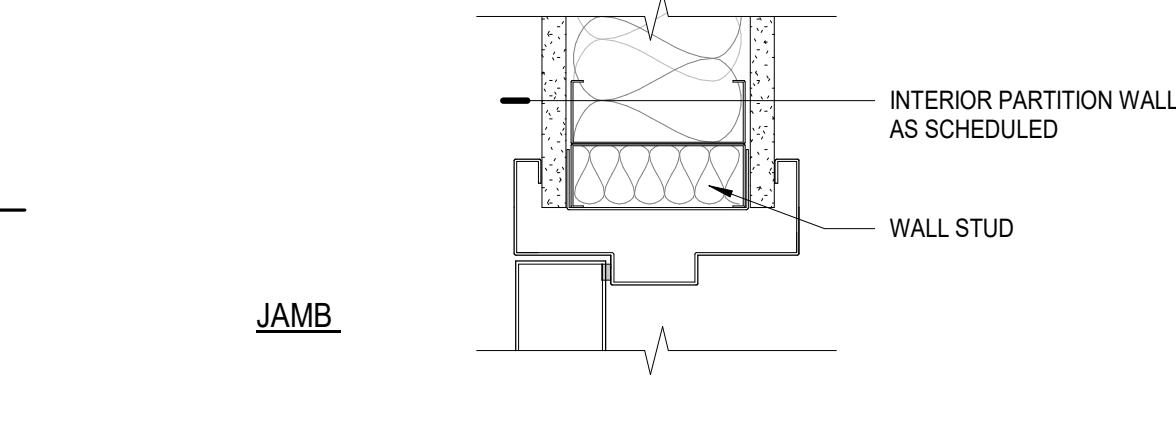
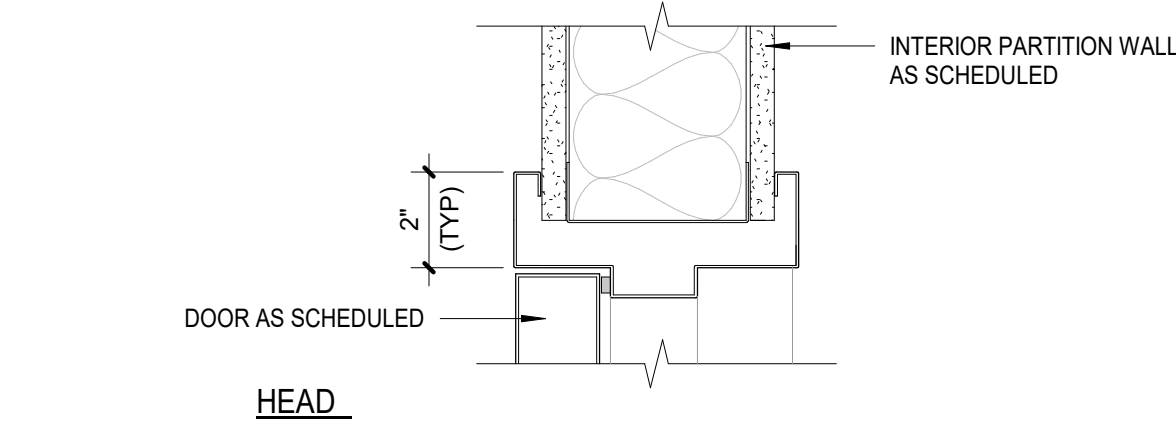
2 ACOUSTICAL CEILING TILE - SEISMIC BRACING
 NOT TO SCALE



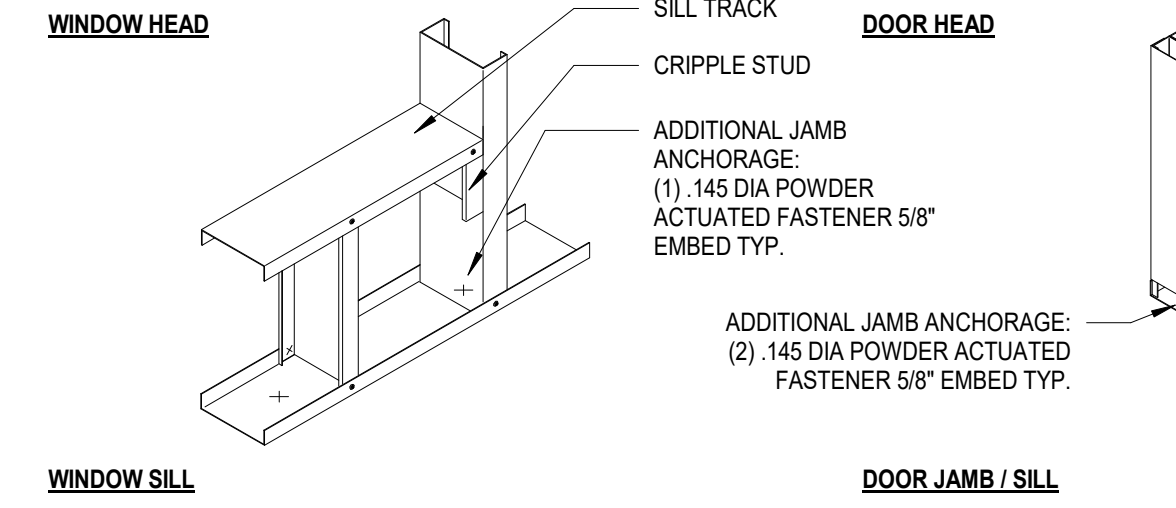
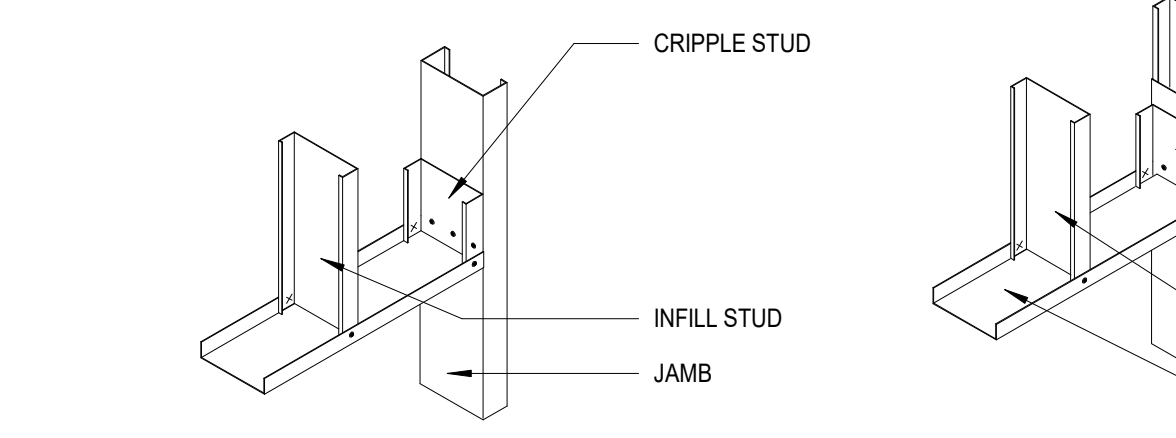
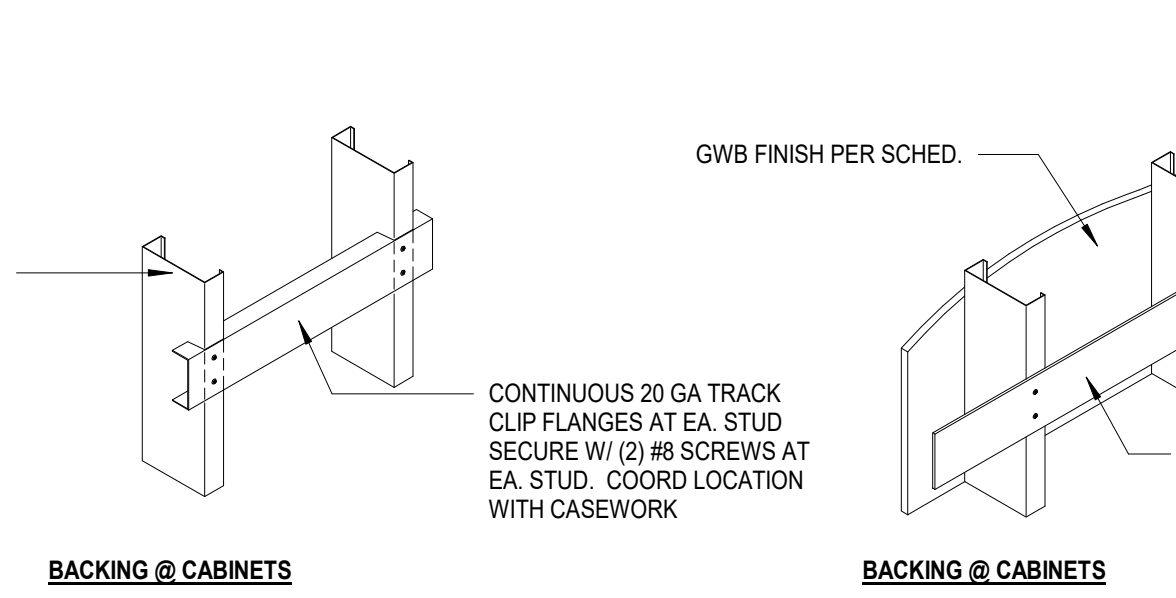
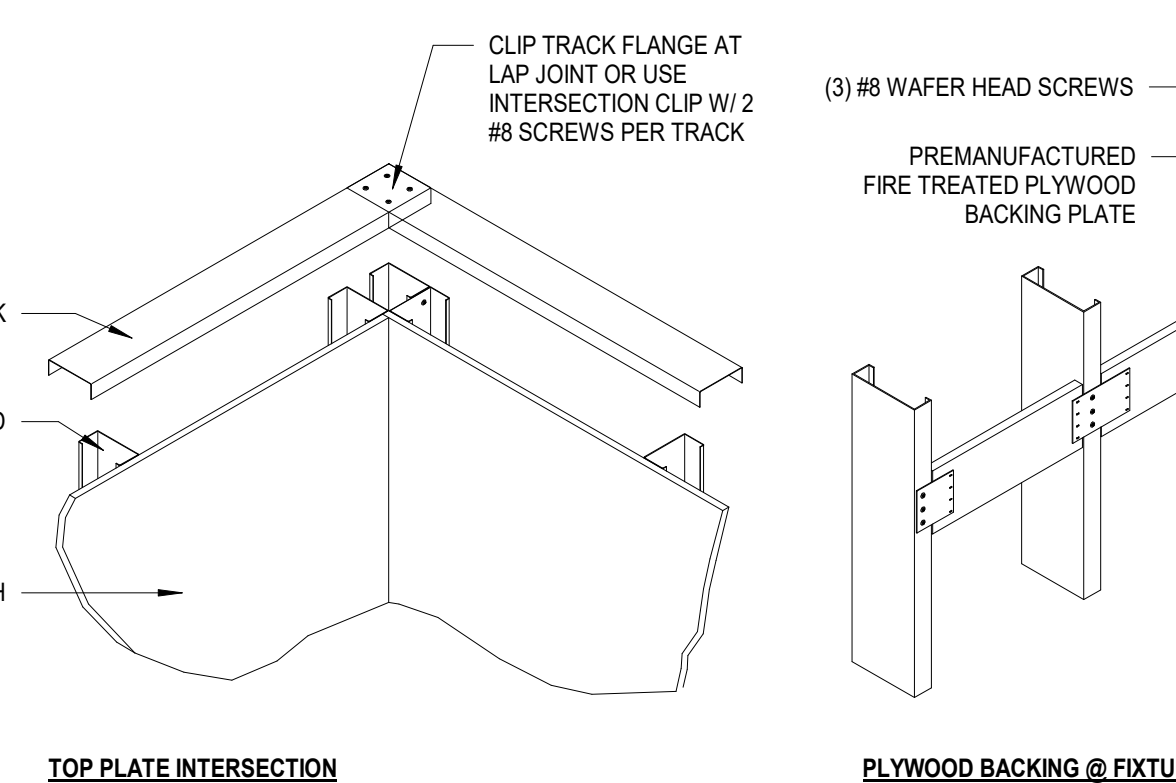
5 DETAIL - ACT CLOUD EDGE
 3" = 1'-0"



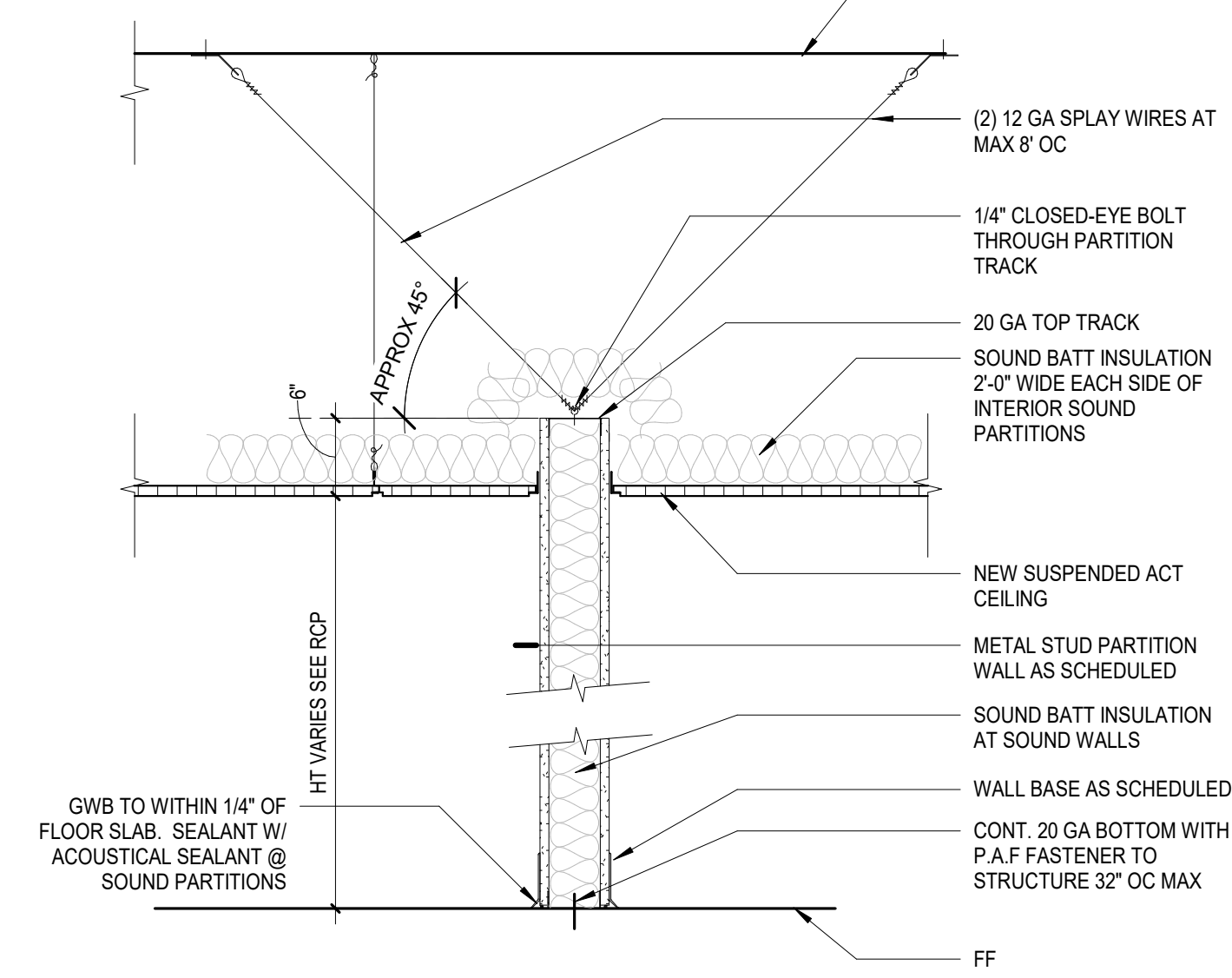
6 FLOORING TRANSITIONS
 NTS



4 DETAIL - INTERIOR HOLLOW METAL
 3" = 1'-0"

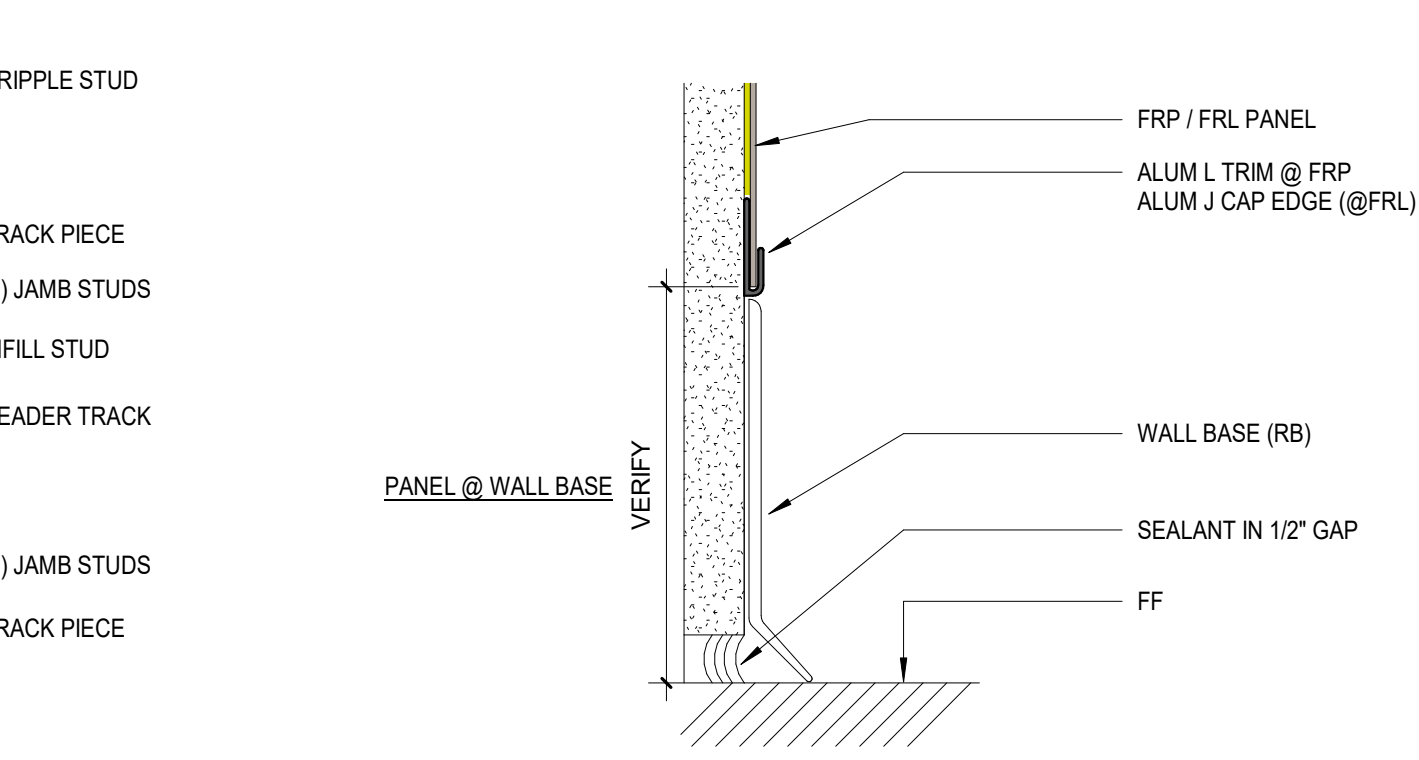
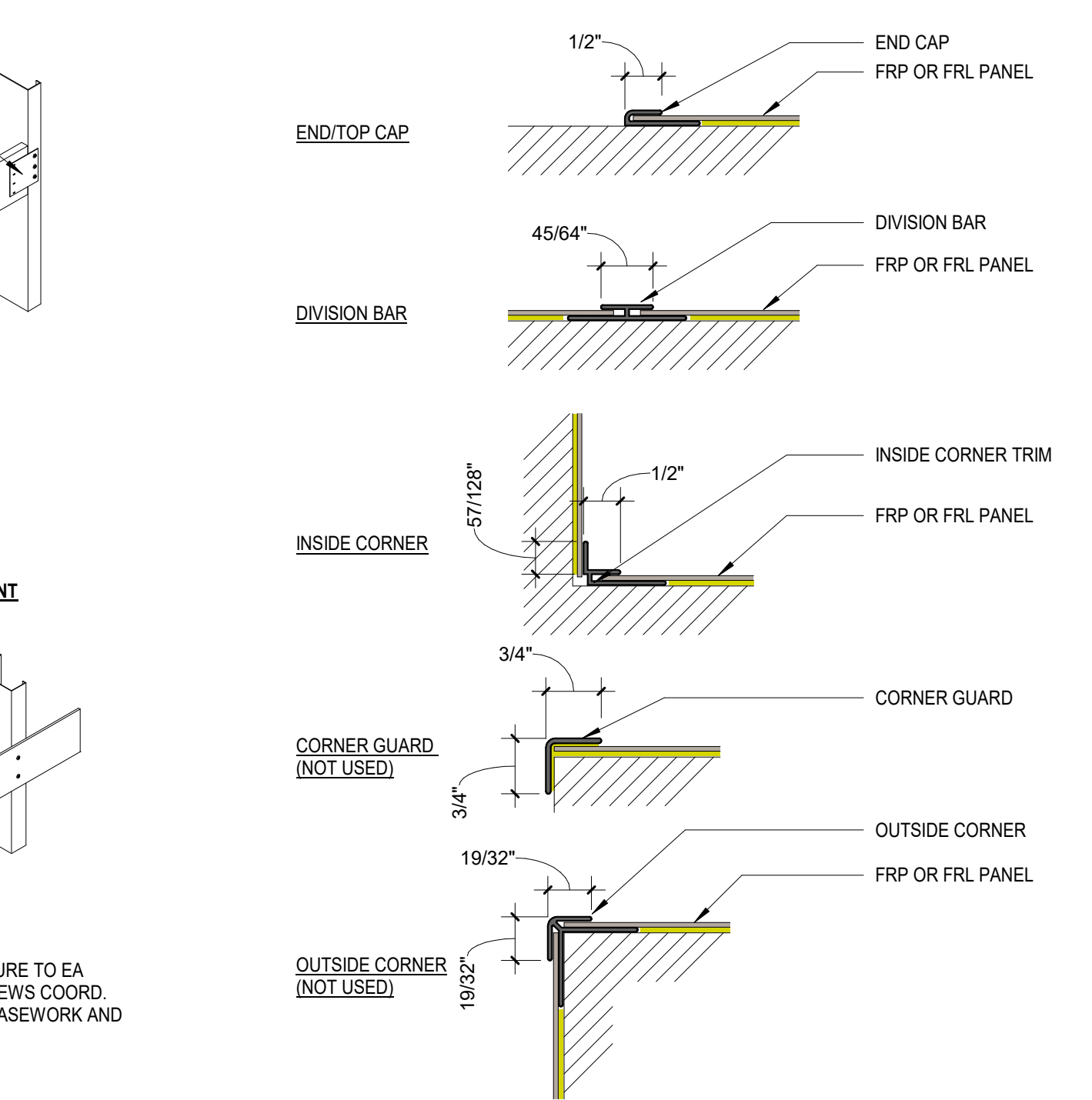


7 TYP NON-LOAD BEARING MTL STUD PARTITIONS
 3/4" = 1'-0"



GENERAL NOTES:
 1. MAXIMUM PLENUM HEIGHT: 10'
 2. LATERAL SUPPORTS MAY BE OMITTED FOR PORTIONS OF PARTITIONS THAT ARE WITHIN 8 FEET OF AN INTERSECTION PARTITION
 3. MAXIMUM PARTITION WEIGHT: 15 LBS/SF
 4. SPLAY WIRE TO BE WRAPPED AROUND ITSELF THREE FULL TURNS WITHIN A 3-INCH LENGTH

1 TYP. SECTION @ INTERIOR PARTITION
 1" = 1'-0"



3 DETAIL - WAINSCOT TRIMS
 6" = 1'-0"

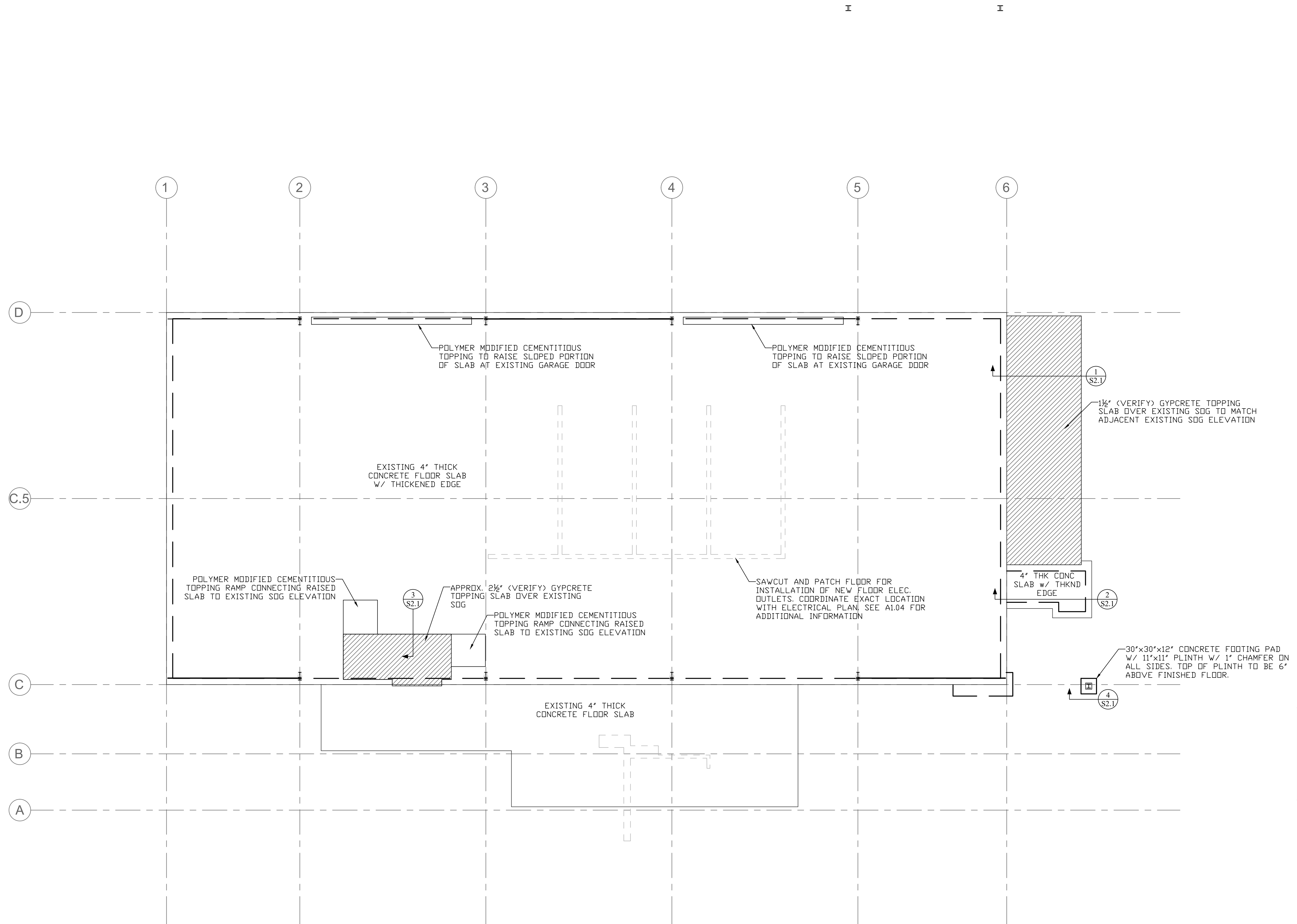
BP 23-00525

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 DATE: JULY 7, 2023
 BA NO: 2021.03
 CHECKED: JMB

INTERIOR DETAILS

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1/8"=1'-0"

FOUNDATION PLAN

NO.	DATE	BY	DATE
DESIGNED		KK	4/21
DRAWN		KK	4/21
CHECKED		MZ	7/3
APPROVED			
ACCEPTED			

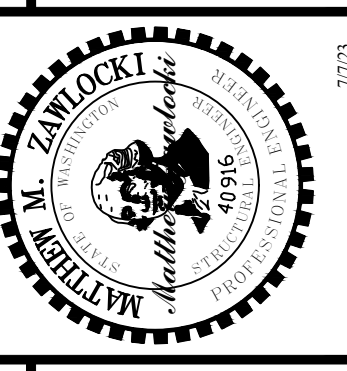
REVISION

NO.	DATE	BY	DESCRIPTION

FOR:

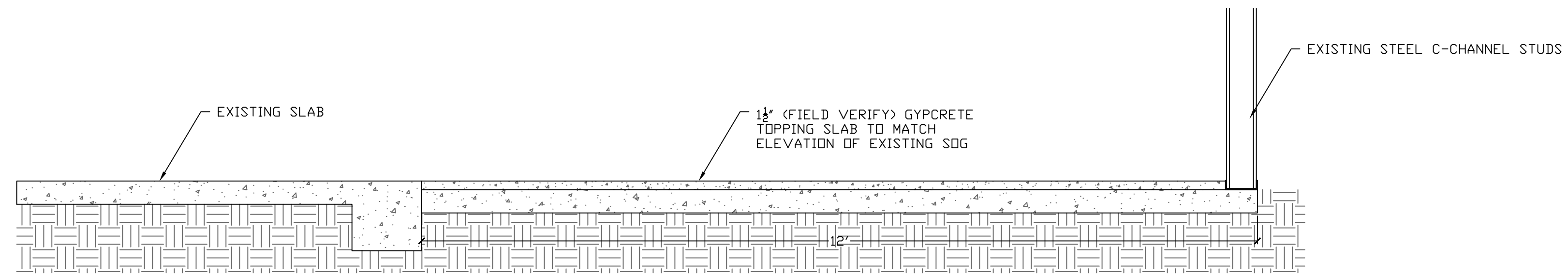
BAU ARC
1230 Bay Street
Port Orchard, WA 98366

KCDEM Tenant Improvement
8900 SW Imperial Way
Bremerton, WA 98312

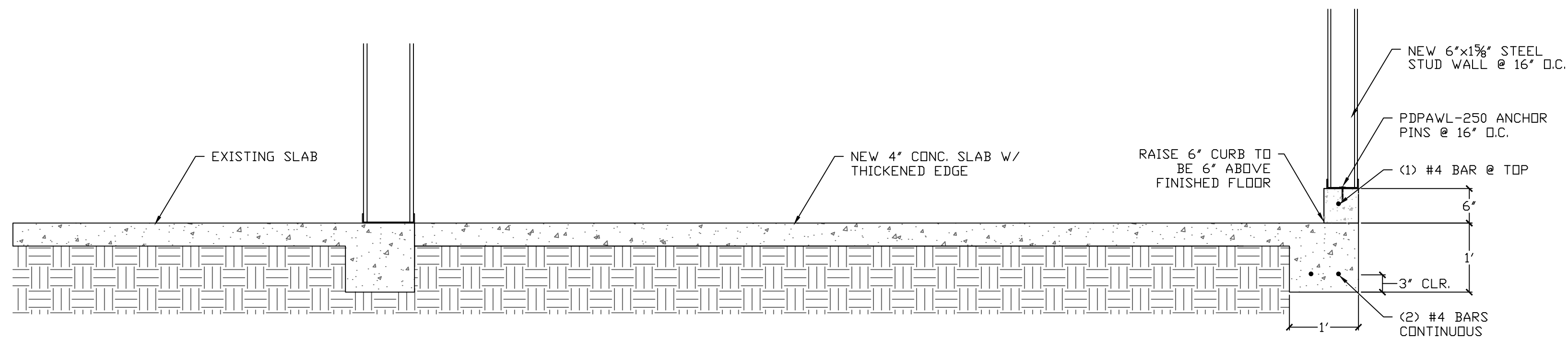


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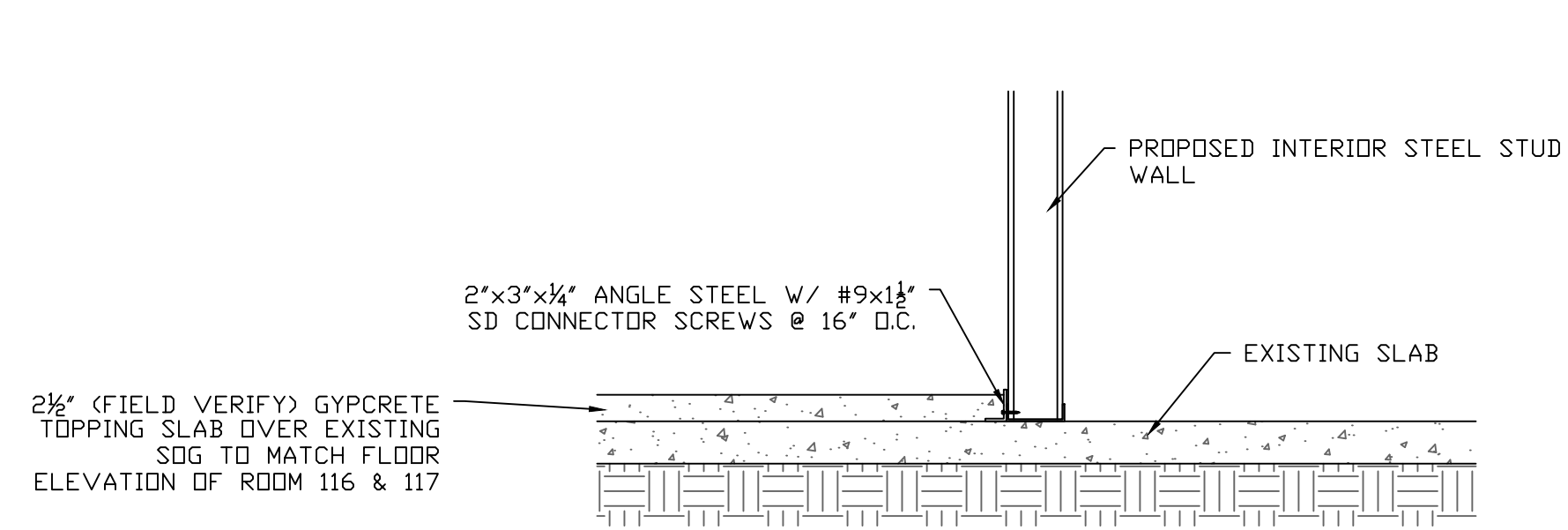
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DATE: July 2023
DRAWING NUMBER
12454
SHEET **S2**



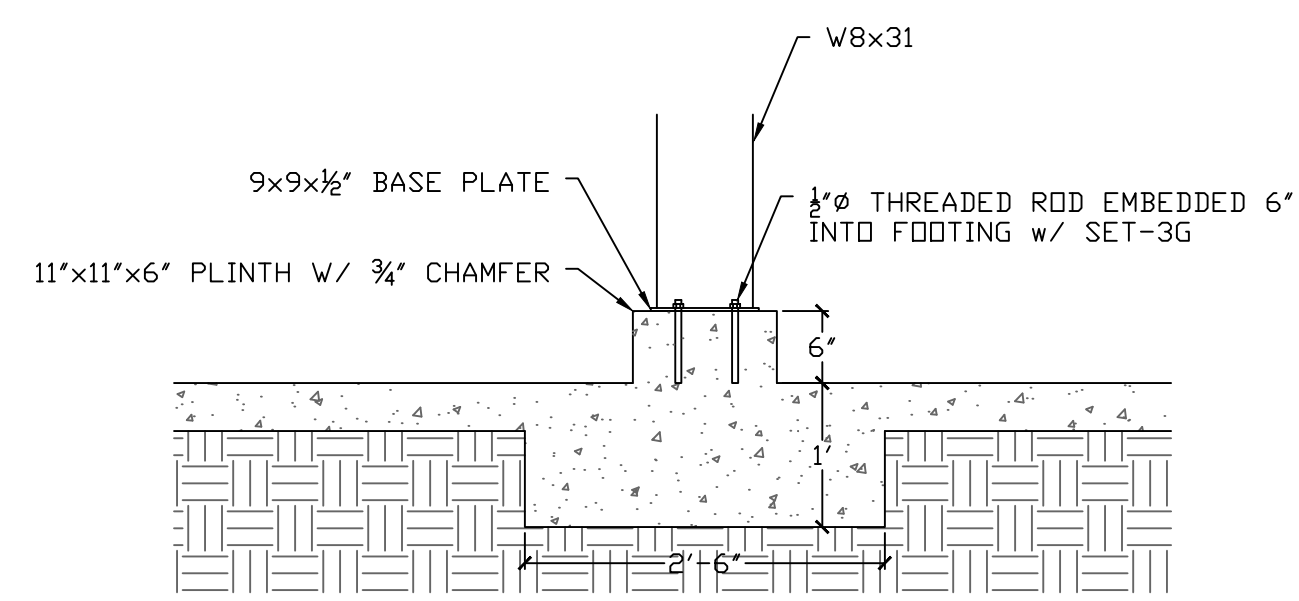
1-X-SECTION 1
3/4"=1'-0"



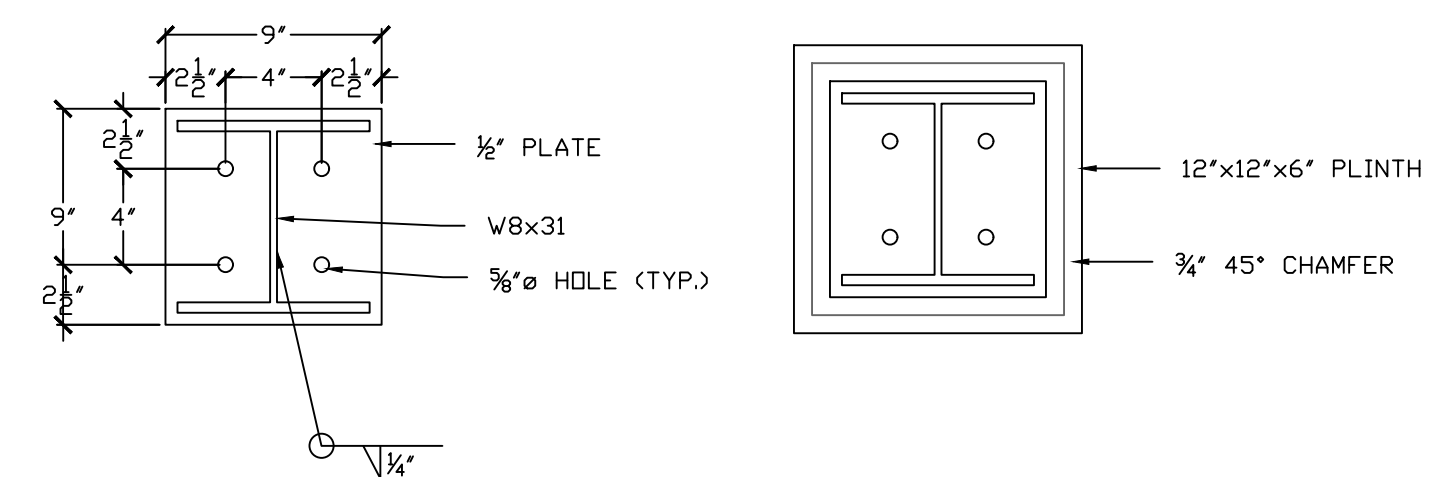
2-X-SECTION 2
3/4"=1'-0"



3-X-SECTION 3
3/4"=1'-0"



4-EXTERIOR COLUMN BASE
3/4"=1'-0"



5-W8x31 BASE PLATE
1 1/2"=1'-0"

NO.	DATE	BY	DATE
DESIGNED		KK	4/21
DRAWN		KK	4/21
CHECKED		MZ	7/21
APPROVED			
ACCEPTED			

REVISION
DESCRIPTION

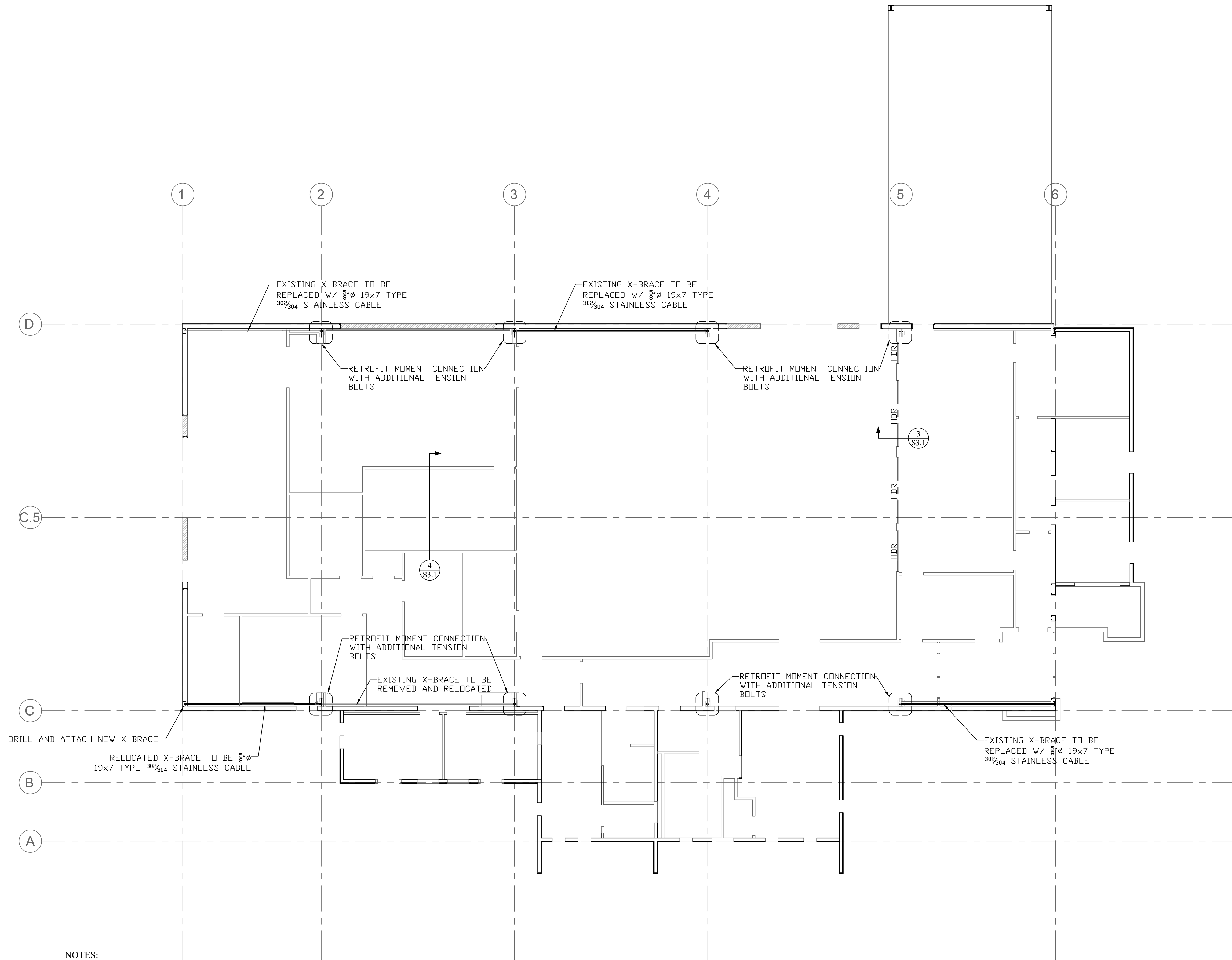
FOR: **KCDEM Tenant Improvement**
8900 SW Imperial Way
Bremerton, WA 98312



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DATE: July 2023
DRAWING NUMBER
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SHEET **S2.1**

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NOTES:

1. ACOUSTIC DROP CEILING SHALL BE INSTALLED WITH SEISMIC BRACES AT 4' O.C. EACH DIRECTION.
2. SEISMIC JOINTS TO BE INSTALLED SUCH THAT NO MORE THAN 144 SQUARE FEET OF CEILING IS IN EACH SECTION.
3. SEE DETAILS ON S3.1 FOR ACOUSTIC CEILING SEISMIC BRACING.

1/8"=1'-0" NOTES:

- WIDE FLANGE STEEL SHAPES SHALL USE FY=50 KSI STEEL
- COLD FORMED STEEL STUDS SHALL USE (MIN) FY=50 KSI STEEL
- RETROFIT STEEL PLATES SHALL USE FY=50 KSI STEEL

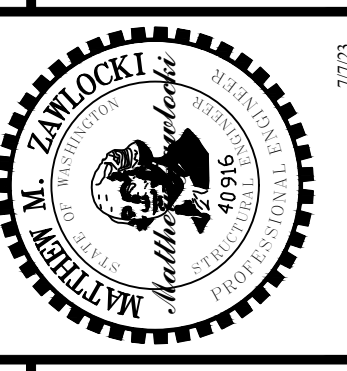
MAIN FLOOR PLAN

▨ = INFILL NEW WALL

NO.	DATE	BY	DATE
DESIGNED		KK	421
DRAWN		KK	421
CHECKED		MZ	721
APPROVED			
ACCEPTED			

REVISION
DESCRIPTION

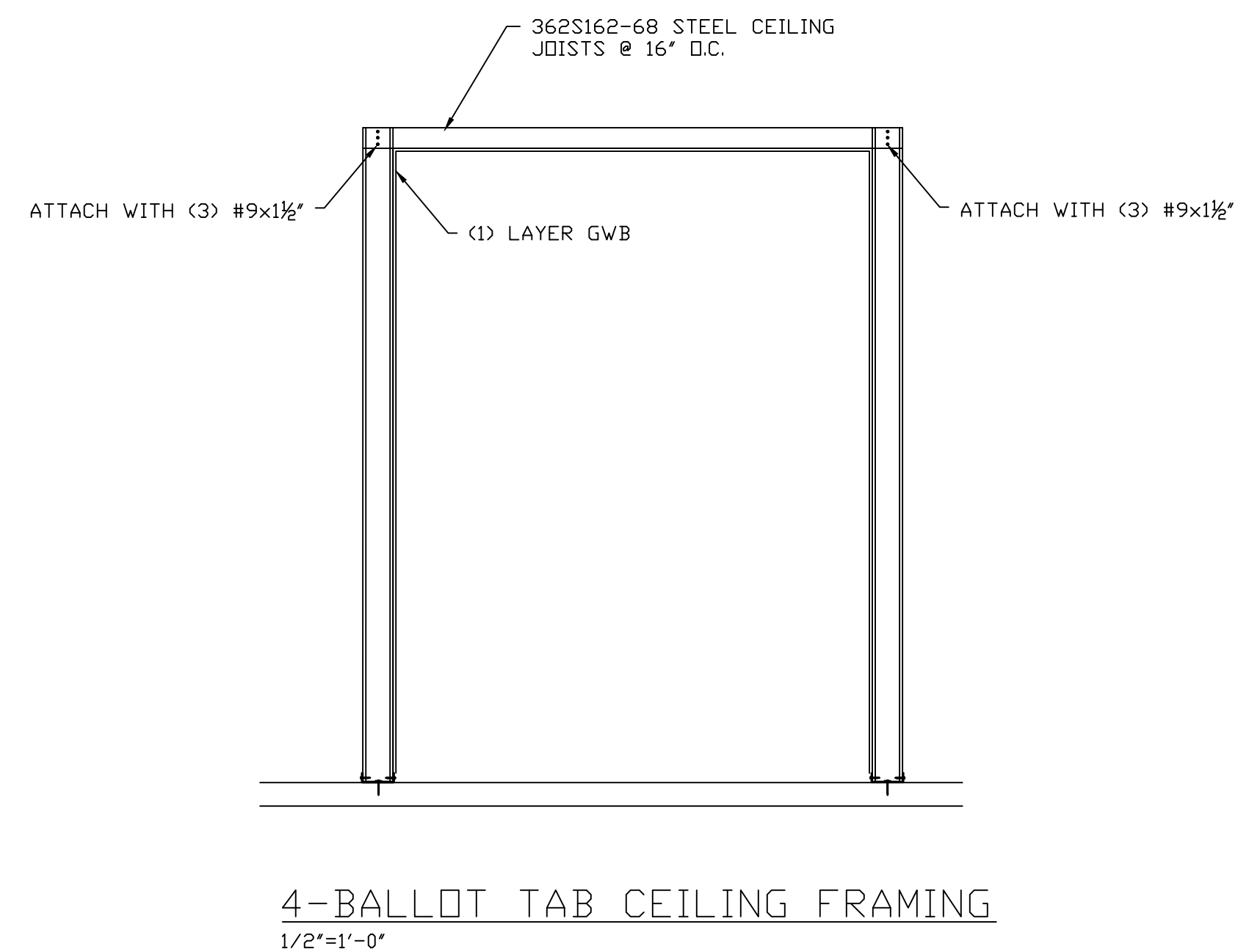
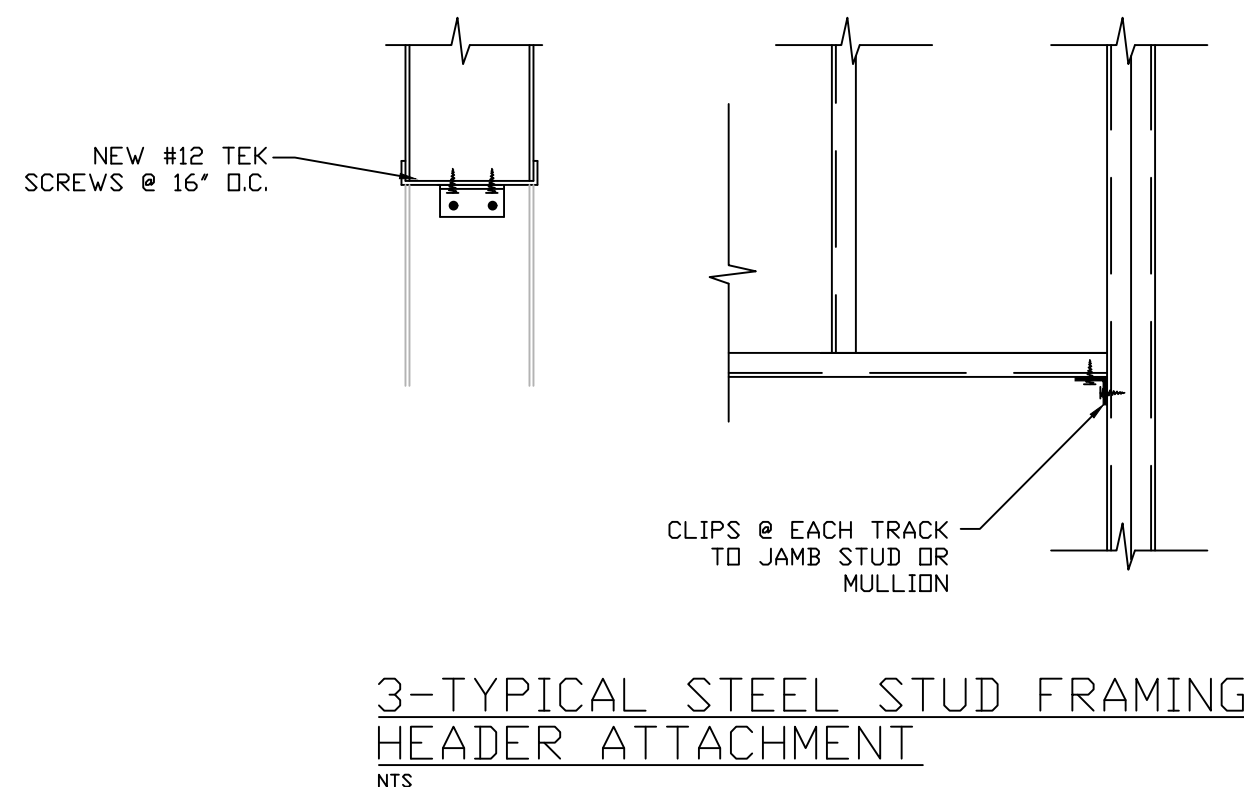
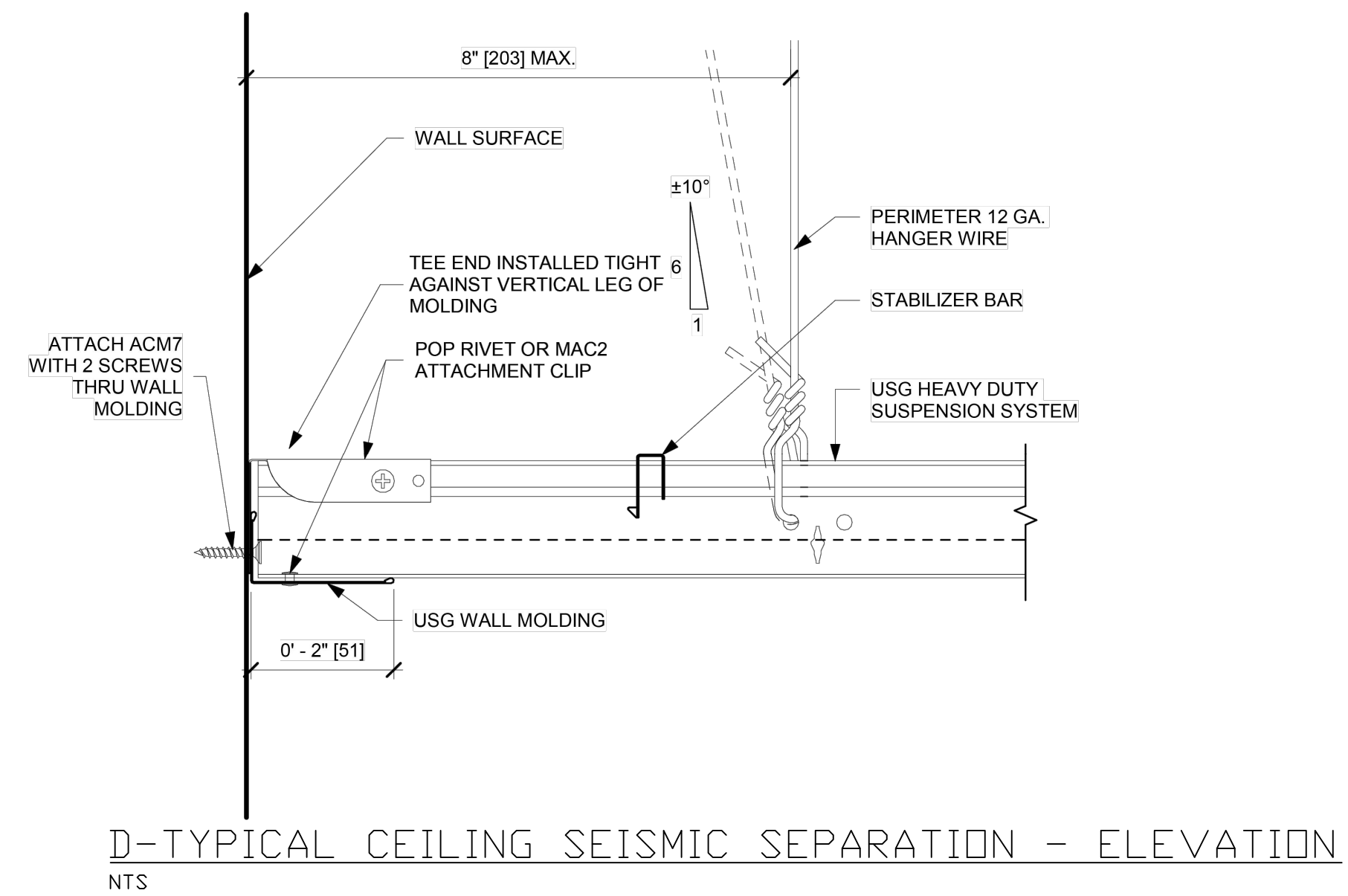
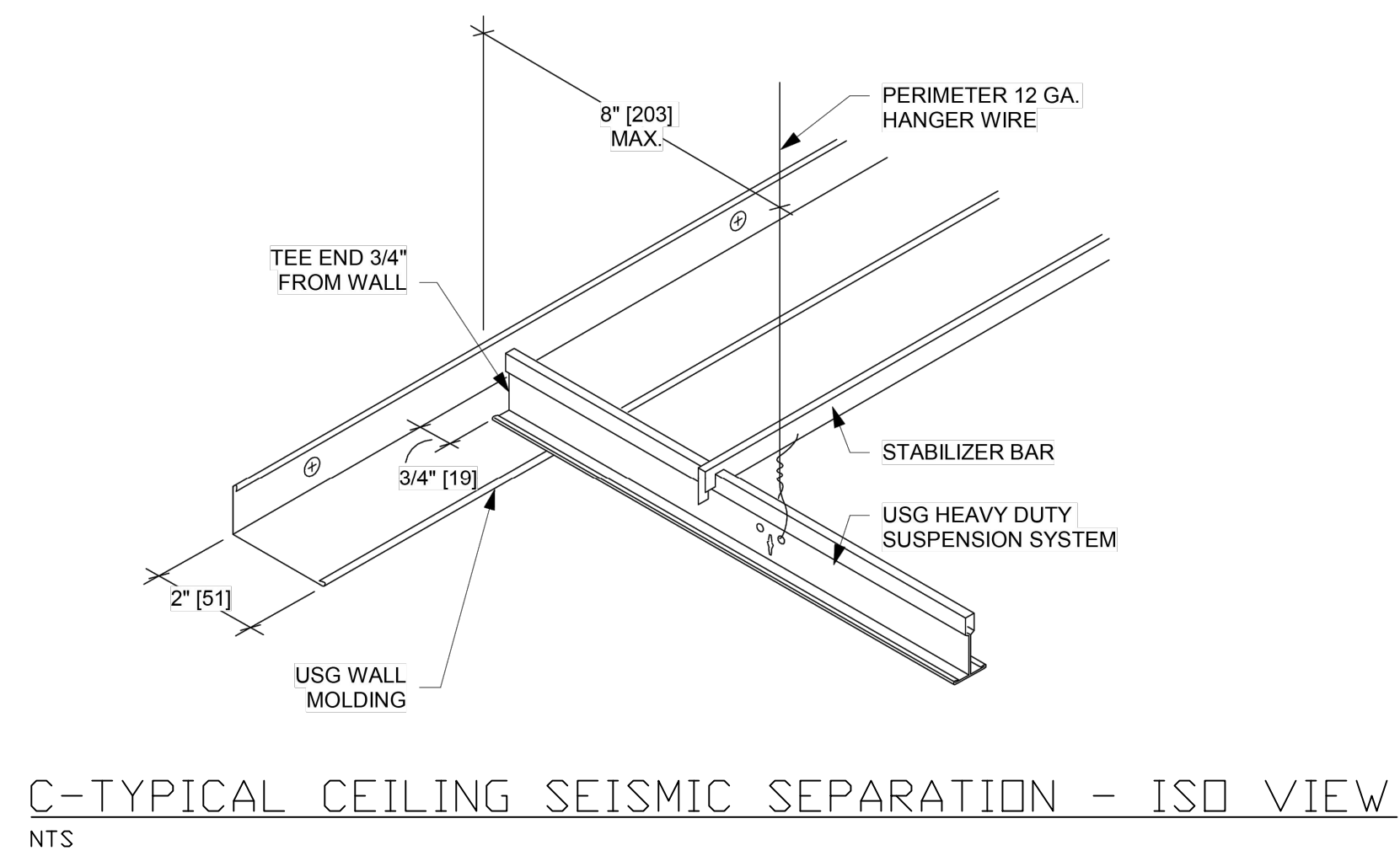
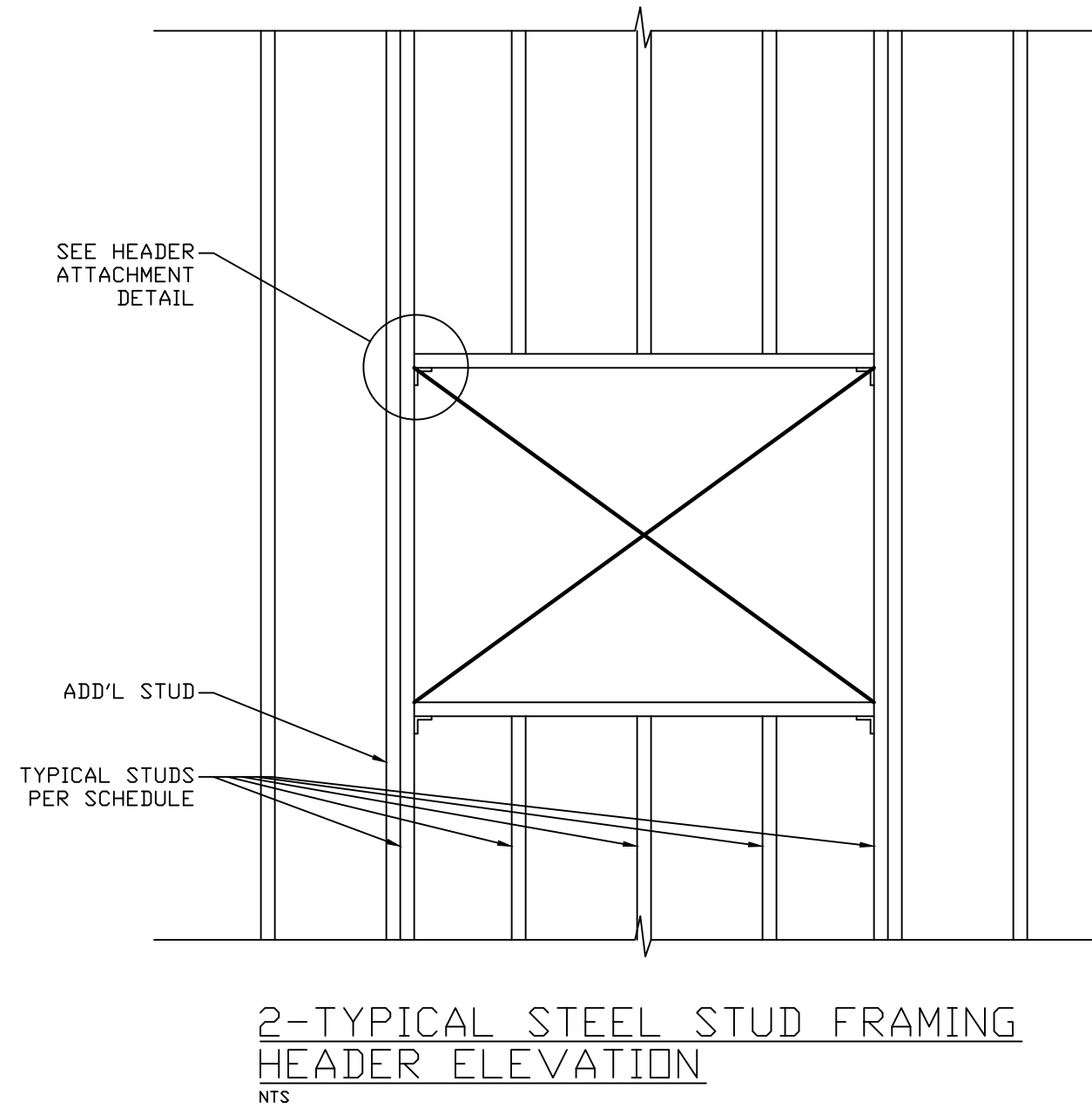
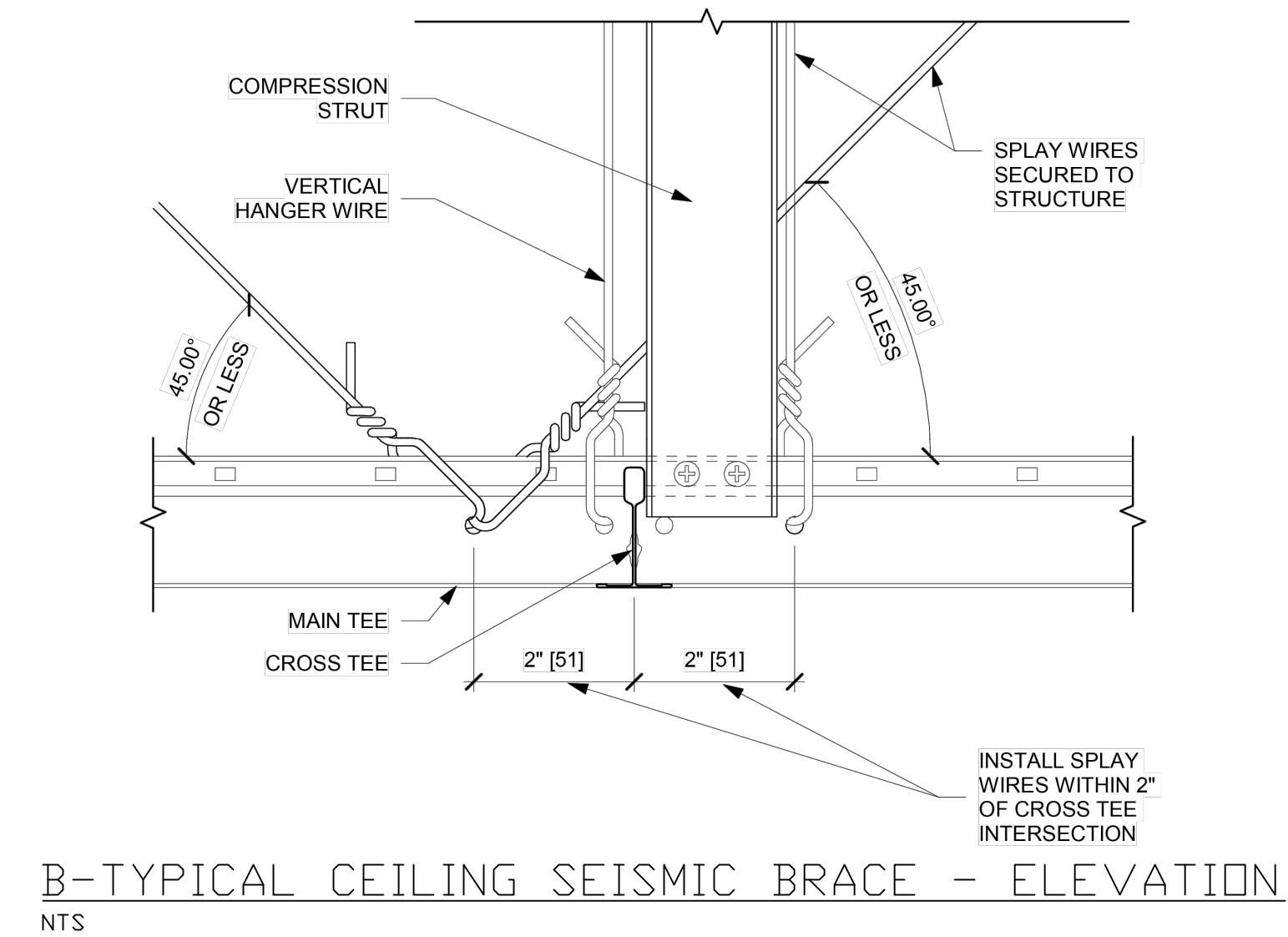
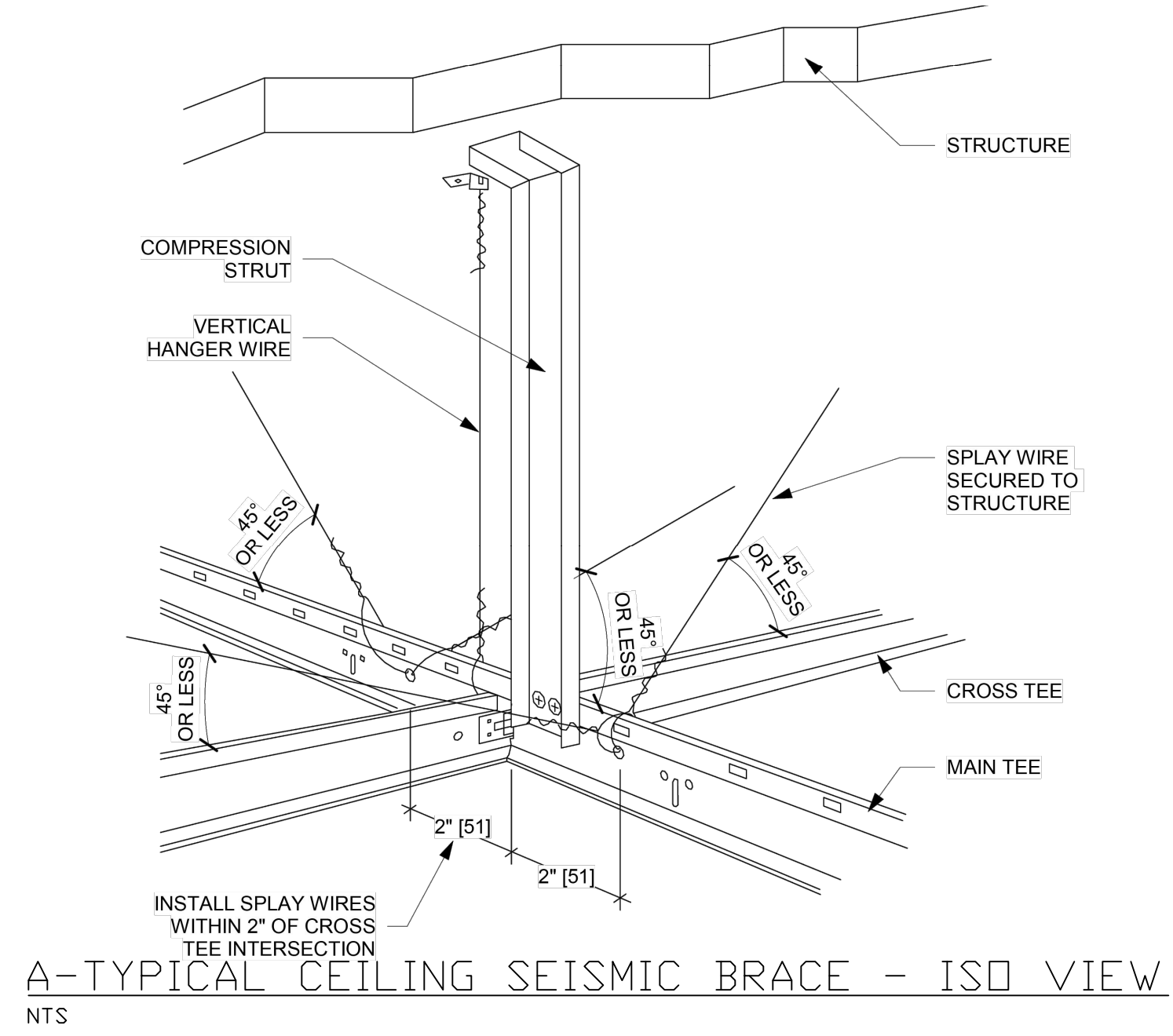
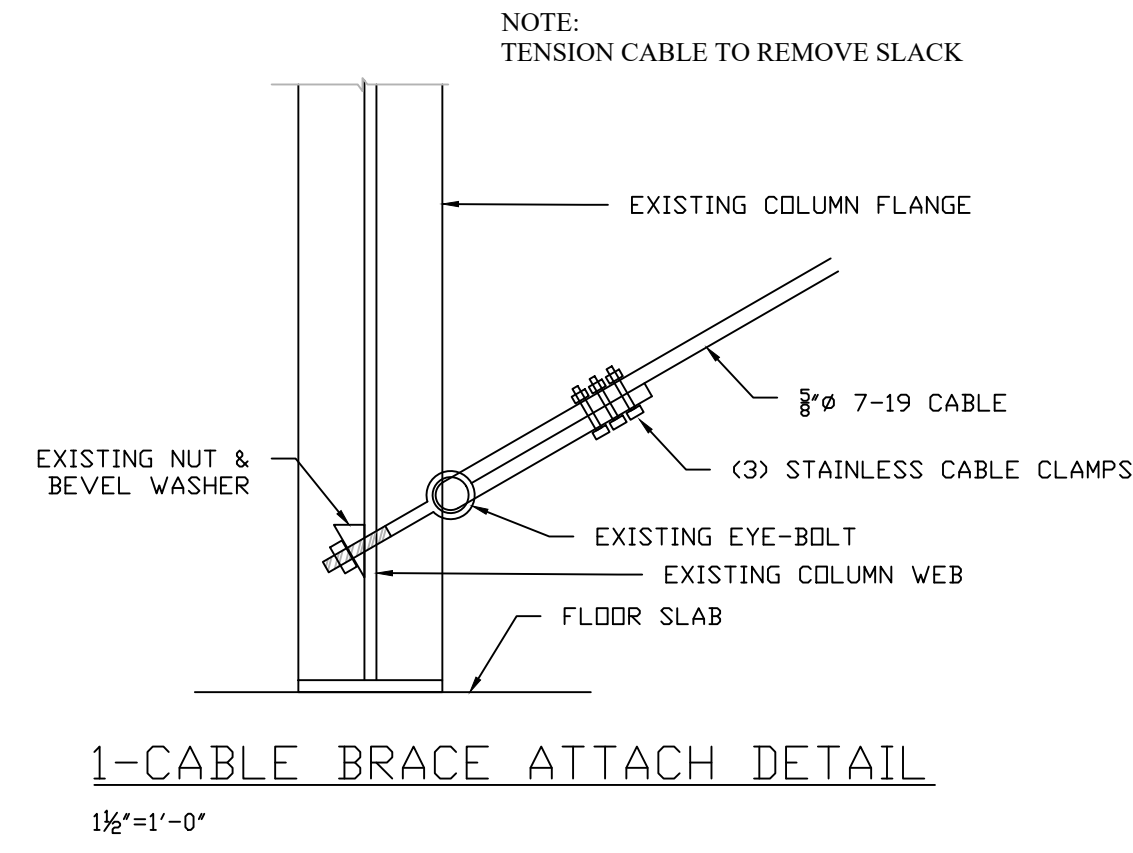
FOR:
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SHEET **S3**

BUD SET

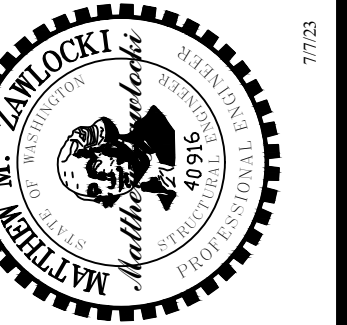


NO.	DATE	BY	DATE
DESIGNED	KK	421	
DRAWN	KK	421	
CHECKED	MZ	723	
APPROVED			
ACCEPTED			

REVISION DESCRIPTION

FOR:

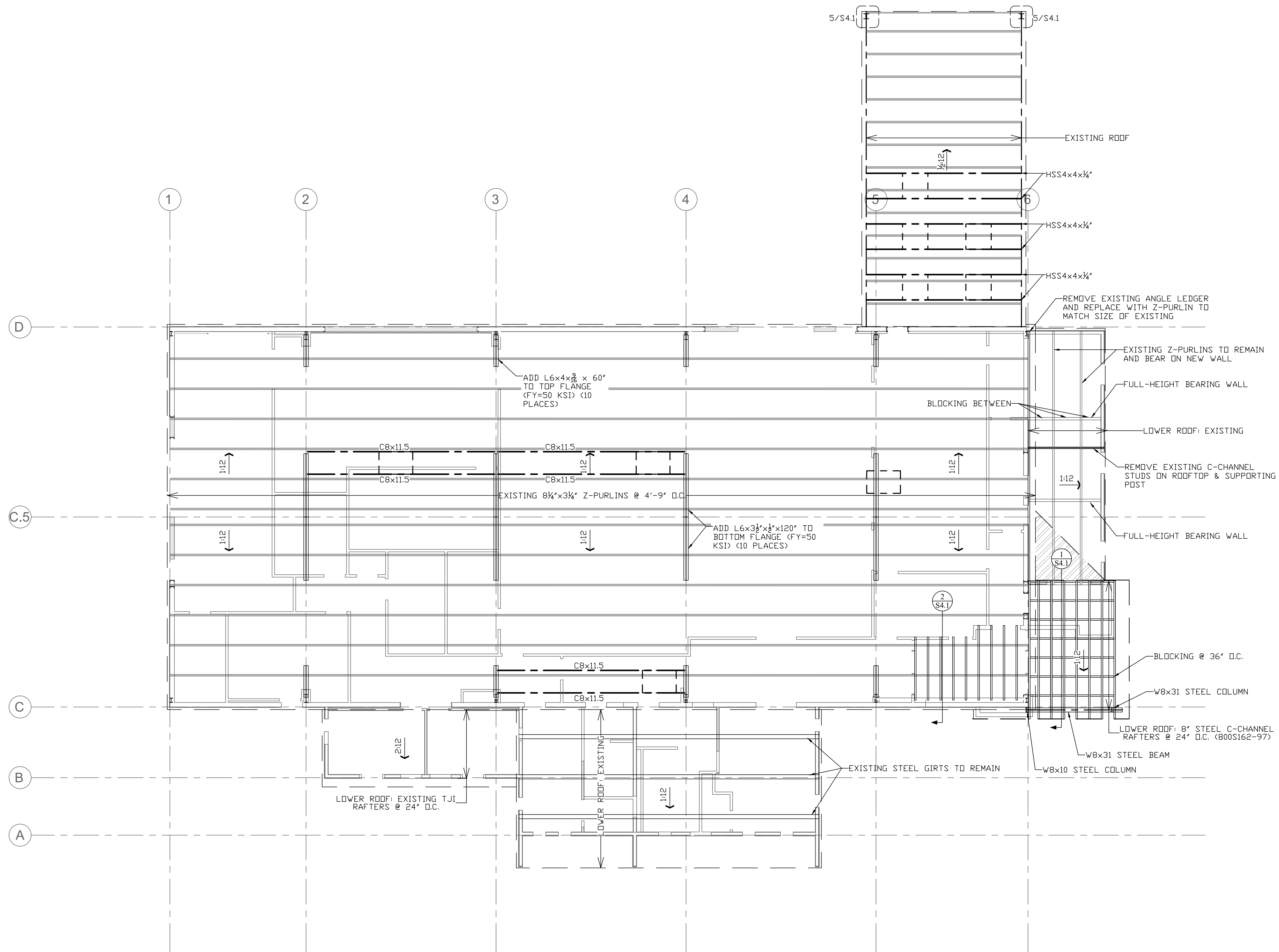
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DATE: July 2023
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SHEET **S3.1**

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ROOF FRAMING PLAN

- 1/8"=1'-0" NOTES:
- WIDE FLANGE STEEL SHAPES SHALL USE FY=50 KSI STEEL
 - COLD FORMED STEEL STUDS SHALL USE (MIN) FY=50 KSI STEEL
 - RETROFIT STEEL PLATES SHALL USE FY=50 KSI STEEL
- ▨ = OVERFRAMING

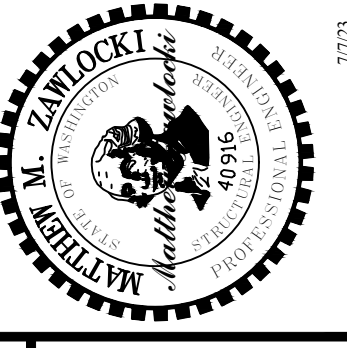
REVISION		BY	DATE

FOR:

BAU ARC
1230 Bay Street
Port Orchard, WA 98366

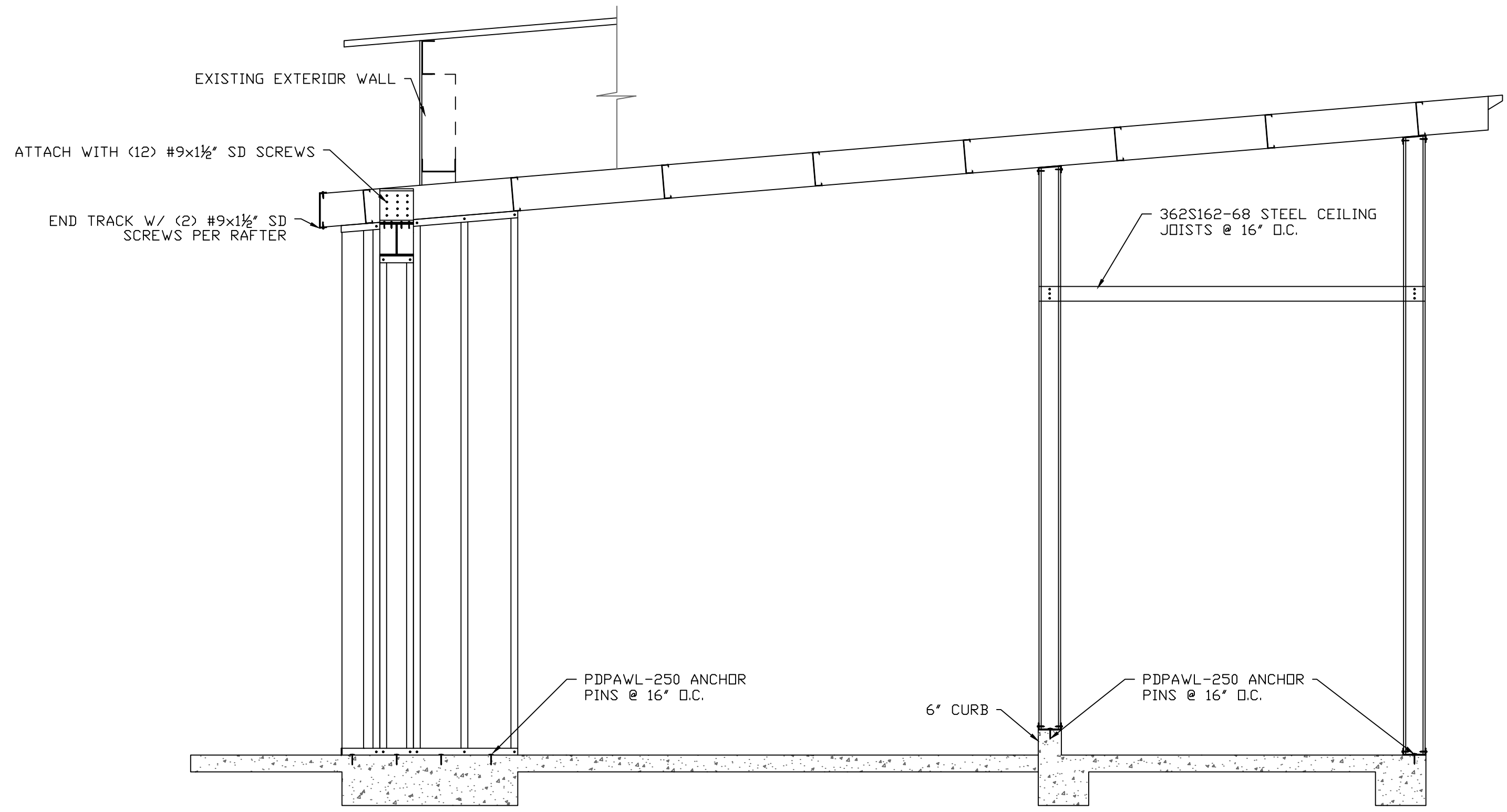
SITE:

KCDEM Tenant Improvement
8900 SW Imperial Way
Bremerton, WA 98312

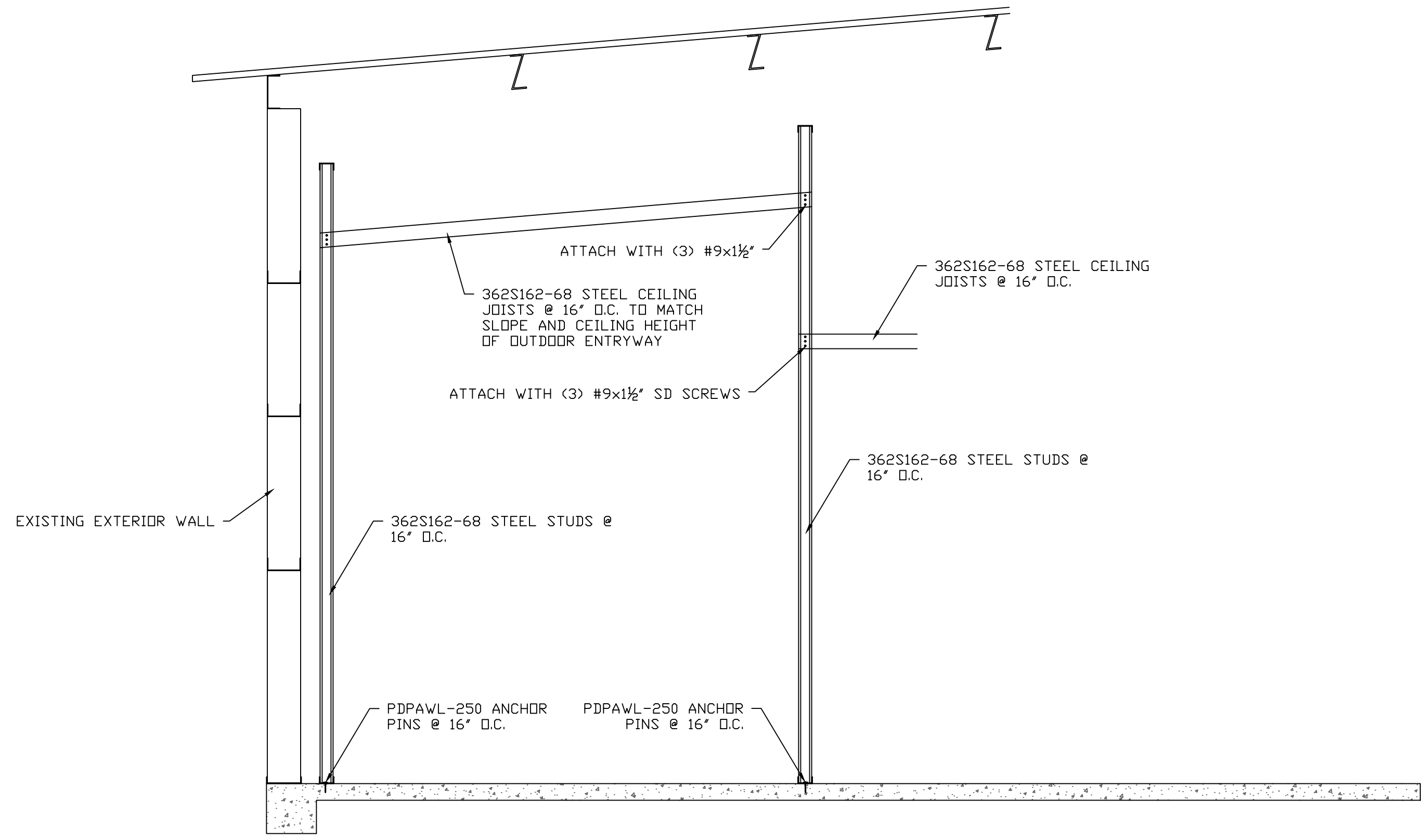


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2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

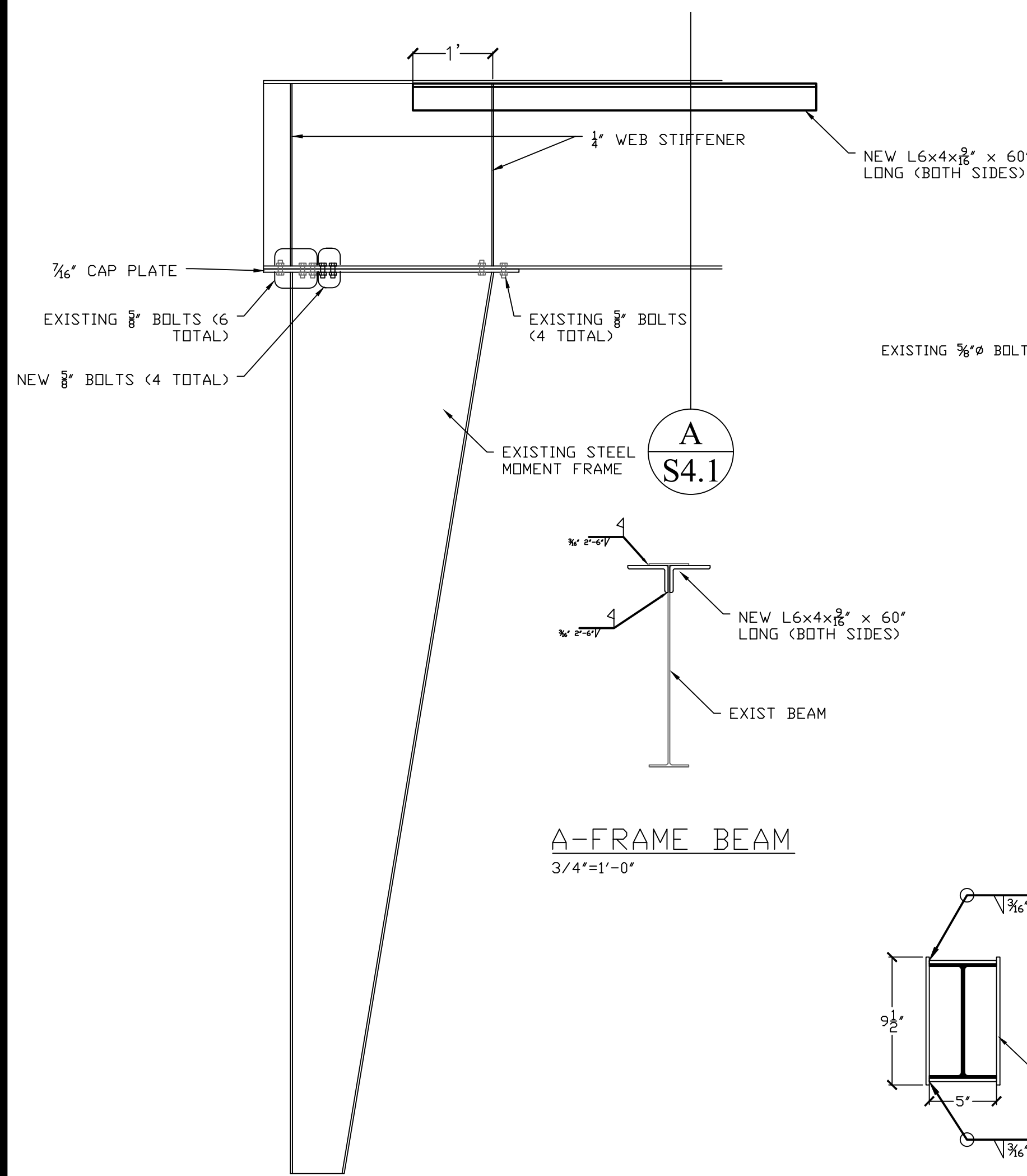
SCALE: AS SHOWN
DATE: July 2023
DRAWING NUMBER
12454
SHEET **S4**



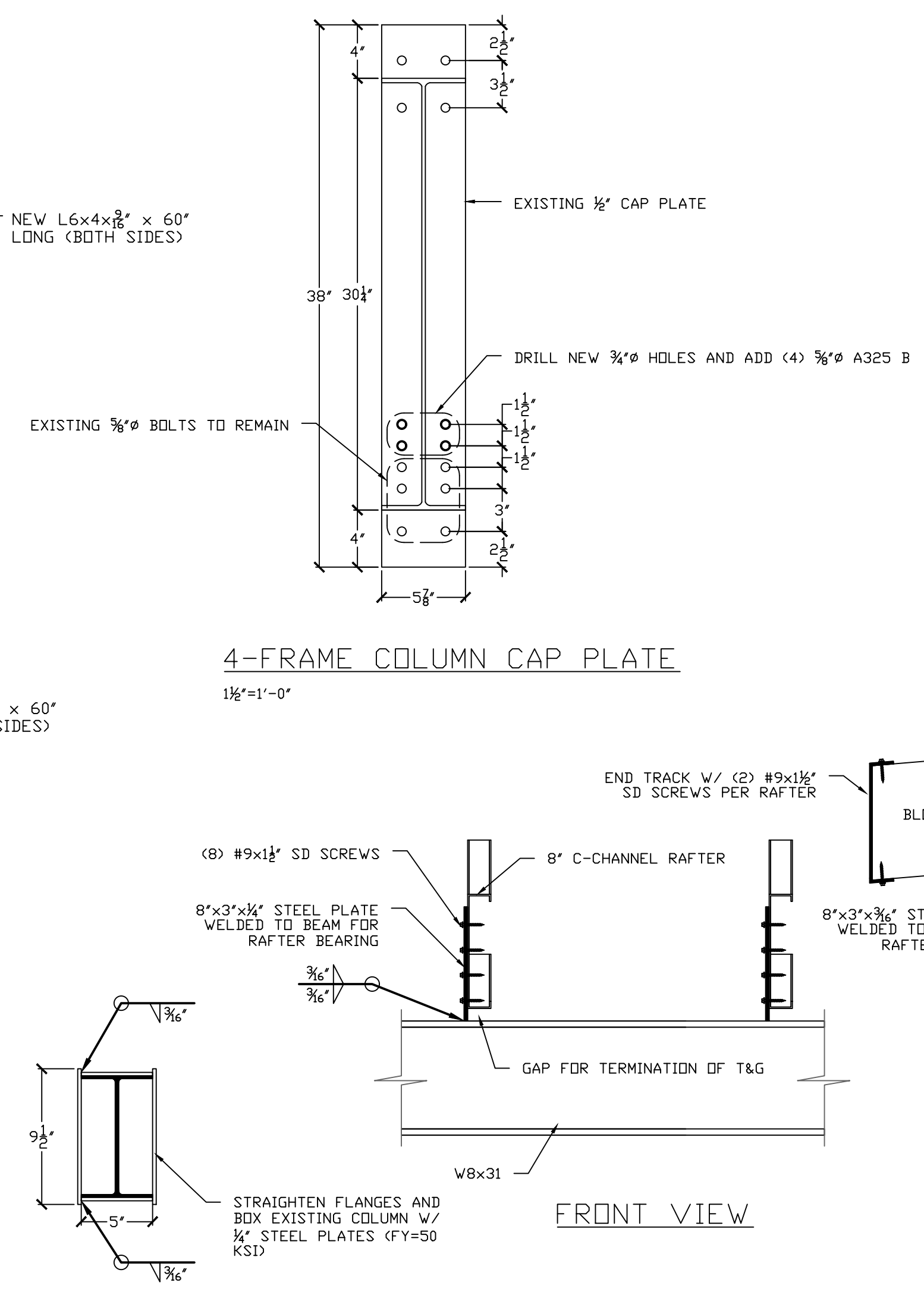
1-X-SECTION 5
1/2"=1'-0"



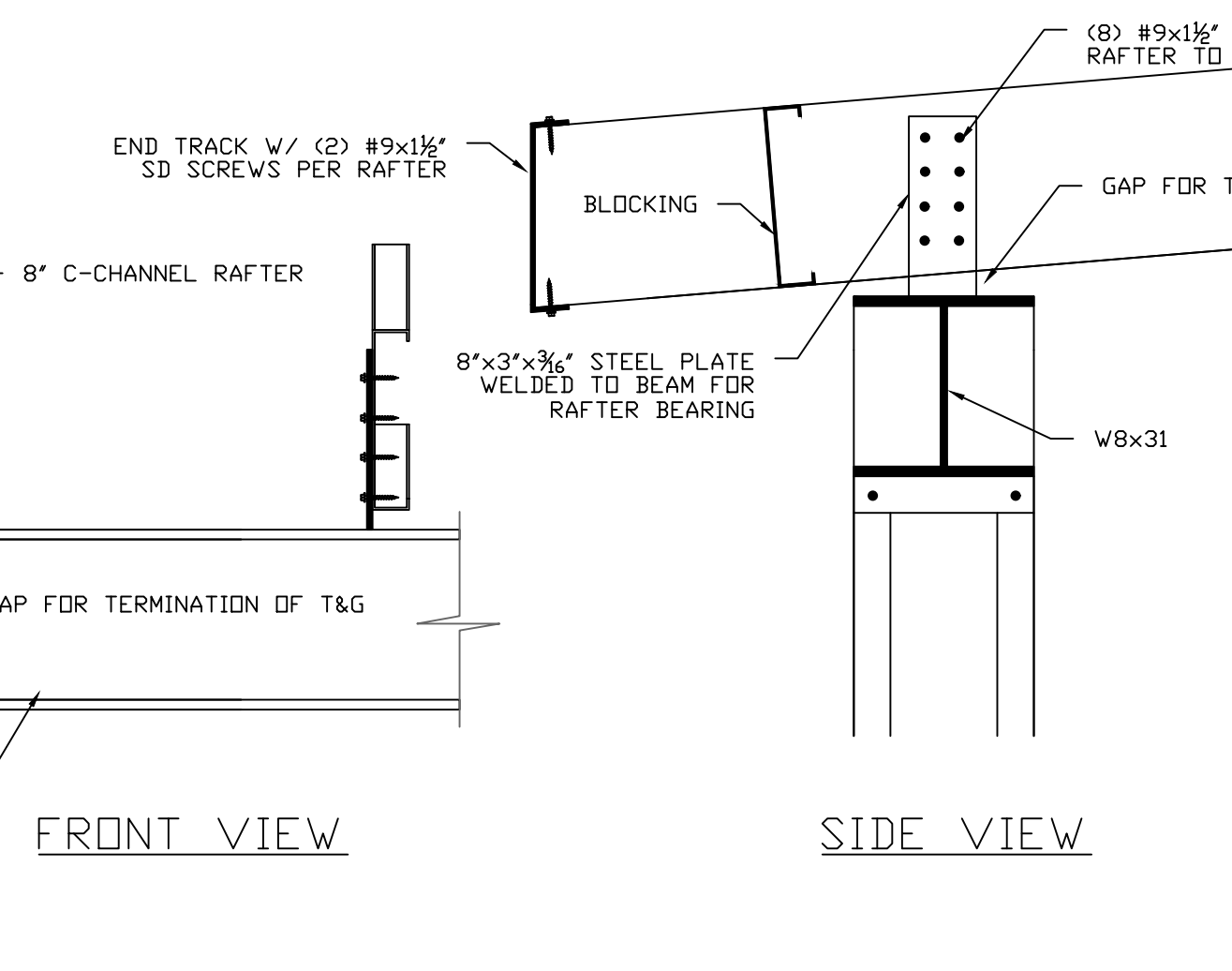
2-X-SECTION 6
1/2"=1'-0"



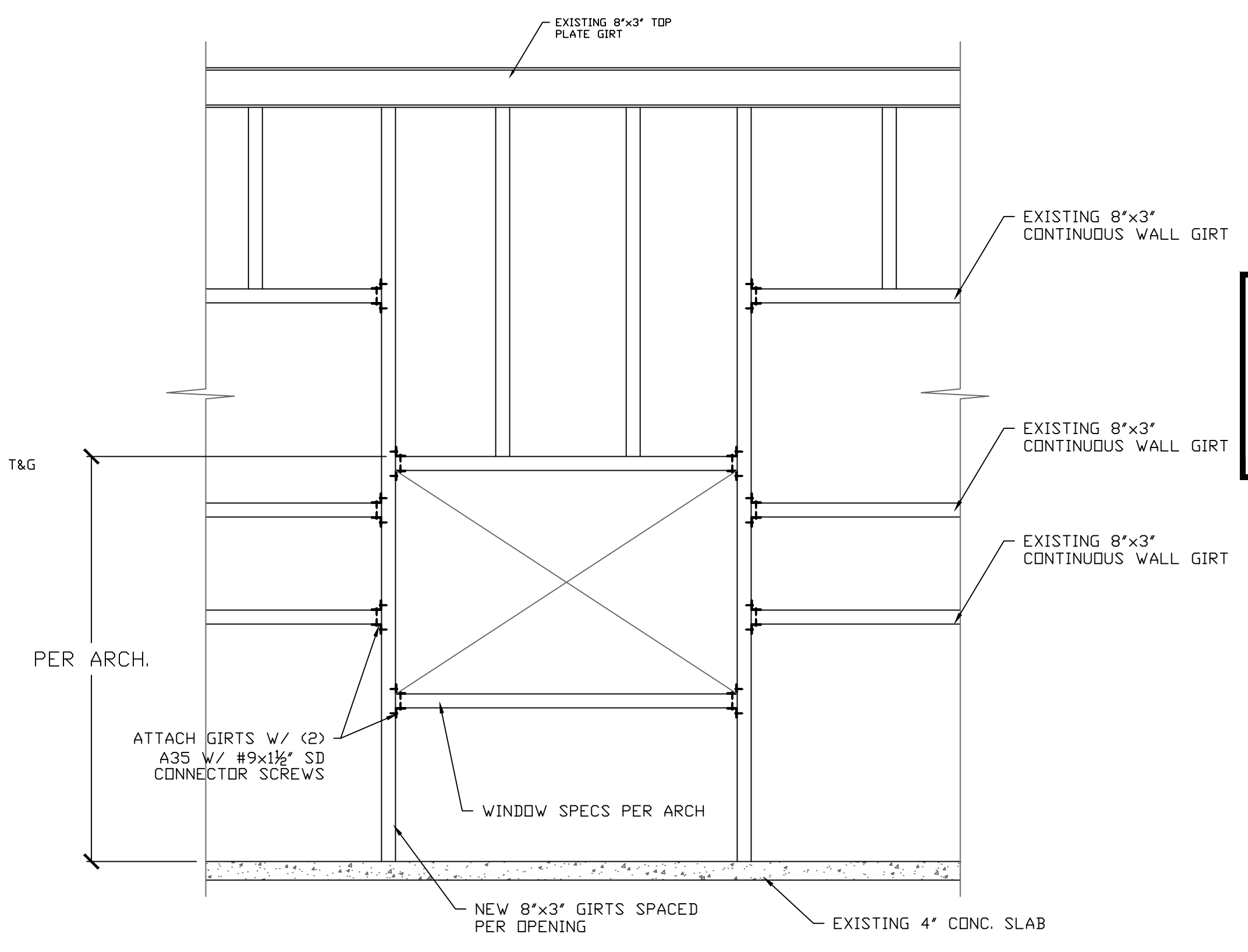
3-FRAME COLUMN ELEVATION
3/4"=1'-0"



4-FRAME COLUMN CAP PLATE
1 1/2"=1'-0"



6-STEEL RAFTER TO W8x31 ATTACHMENT
1 1/2"=1'-0"

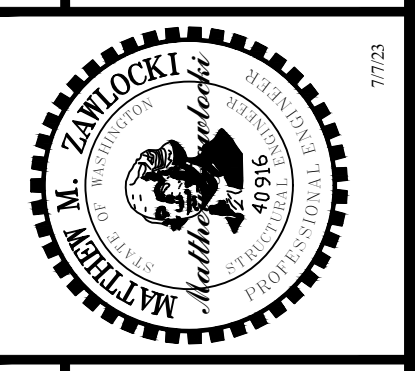


7-TYPICAL EXTERIOR WALL WINDOW/DOOR HEADER RETROFIT ELEVATION
1/2"=1'-0"

NO.	DATE	BY	DATE
DESIGNED	KK	421	
DRAWN	KK	421	
CHECKED	MZ	723	
APPROVED			
ACCEPTED			

FOR: **KCDEM Tenant Improvement**
8900 SW Imperial Way
Bremerton, WA 98312

SITE: **BAU ARC**
1230 Bay Street
Port Orchard, WA 98366



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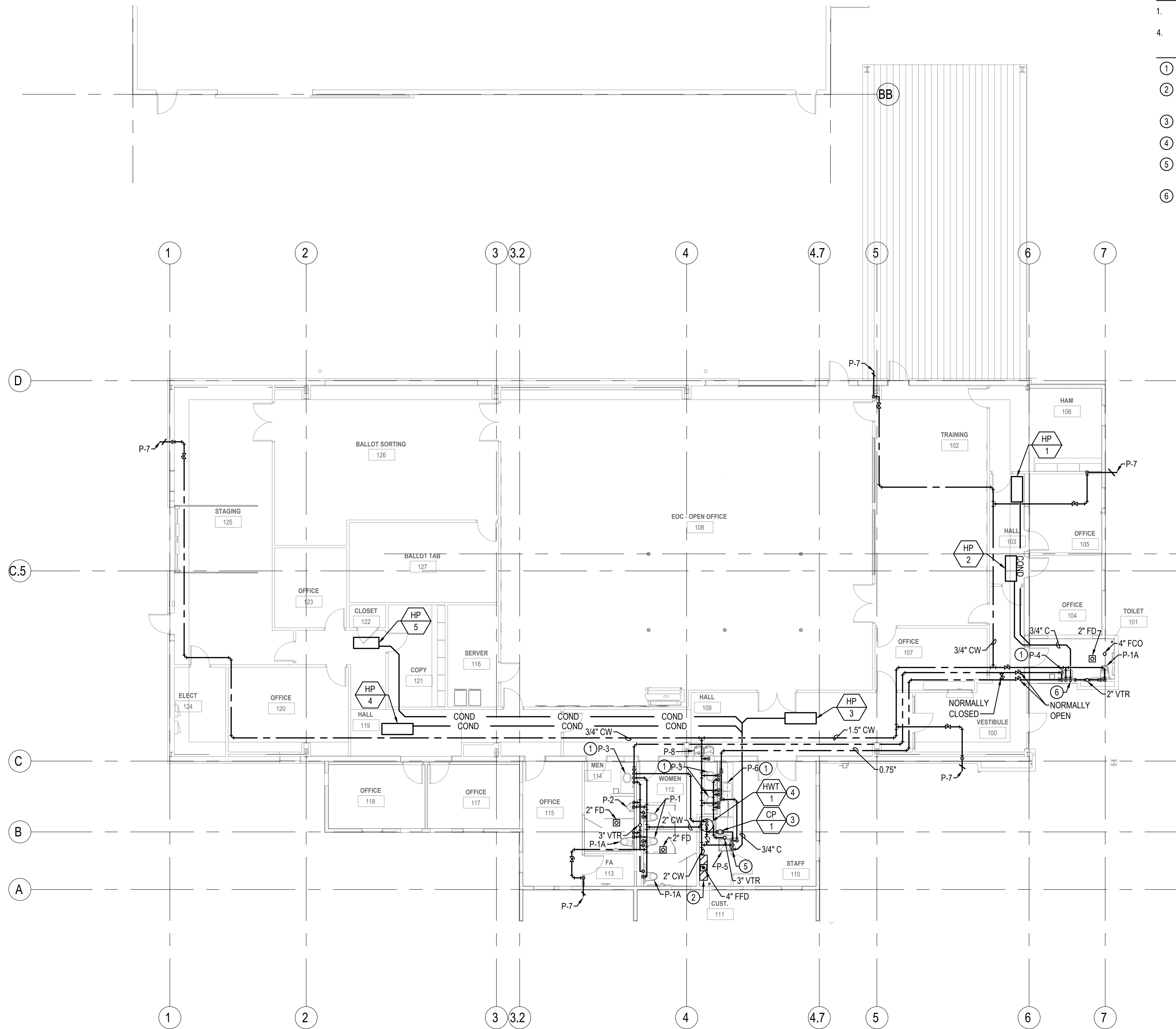
SCALE: AS SHOWN
DATE: July 2023
DRAWING NUMBER: **12454**
SHEET: **S4.1**

GENERAL NOTES

1. DRAWING IS DIAGRAMMATIC. CONTRACTOR TO FIELD VERIFY ALL MECHANICAL EQUIPMENT LOCATIONS, SIZES, AND QUANTITIES.
4. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

- ① ROUTE HOT WATER LOOP DOWN IN WALL WITHIN 6" OF SUPPLY STOP.
- ② RACK DOMESTIC CW HEADER ON WALL IN THIS LOCATION. SEE DOMESTIC WATER HEADER DETAIL ON SHEET M5.00.
- ③ MOUNT EXPANSION TANK AND CIRCULATION PUMP ON THE WALL.
- ④ SEE HOT WATER TANK PIPING DIAGRAM ON SHEET M5.00.
- ⑤ 3/4" CONDENSATE. TERMINATE 2" ABOVE MOP SINK FLOOD RIM WITH DOWN-TURNED ELBOW.
- ⑥ ROUTE CONDENSATE DOWN IN WALL AND CONNECT TO LAVATORY TAIL PIECE.



1 PLUMBING FIRST FLOOR PLAN
1/8" = 1'-0"

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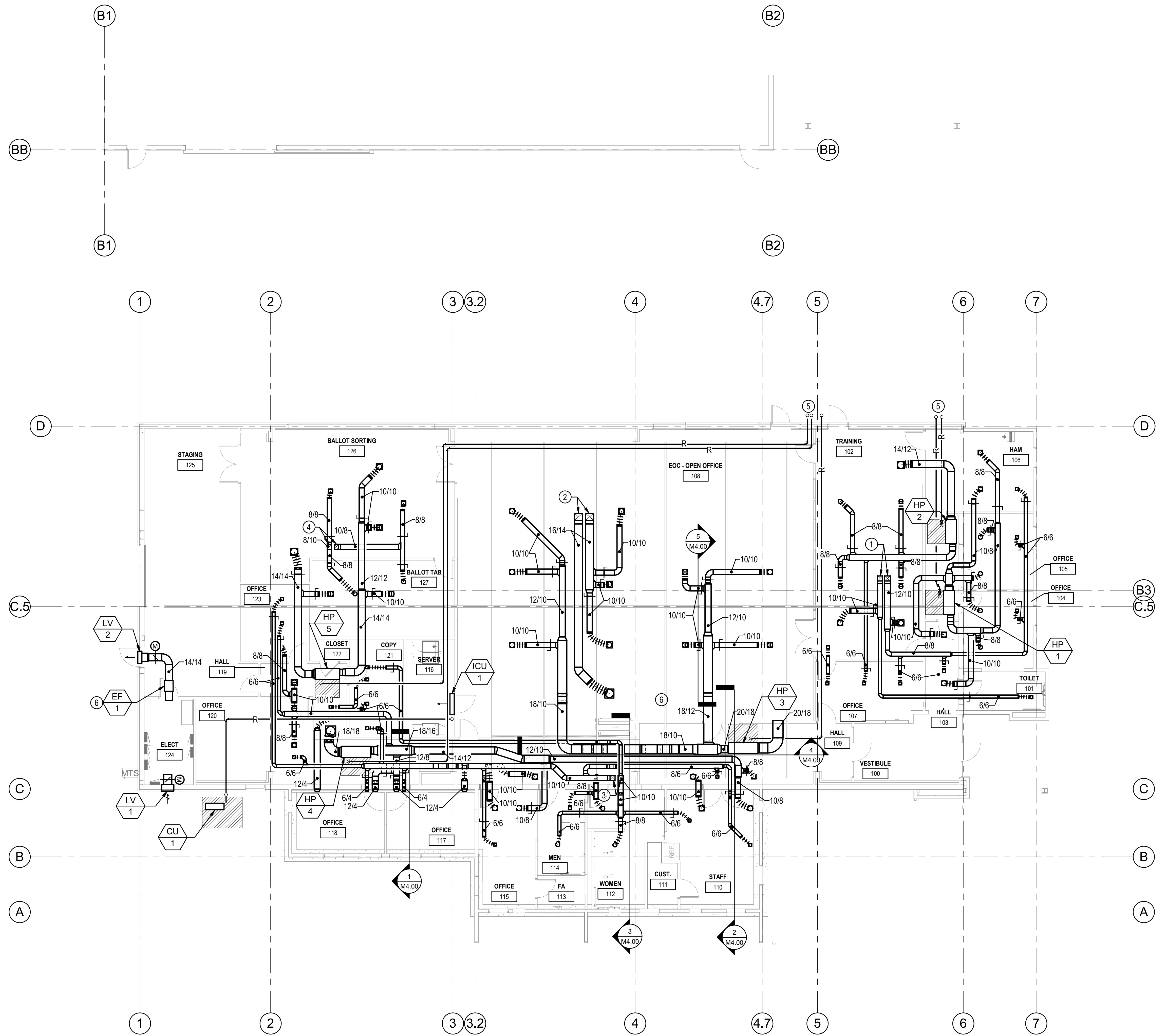
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BREMERTON, WA 98312

BID SET

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: JH

PLUMBING FIRST FLOOR PLAN

M1.02



1 HVAC DUCTWORK PLAN
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

- 1 UP TO DOAU 1, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 2 UP TO DOAU 2, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 3 UP TO DOAU 3, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 4 UP TO DOAU 4, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 5 SEE SHEET M1.05 FOR PIPE CONTINUATION.
- 6 SEE TYPICAL EXHAUST FAN INSTALLATION DETAIL ON SHEET M5.01.

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REVISION SCHEDULE

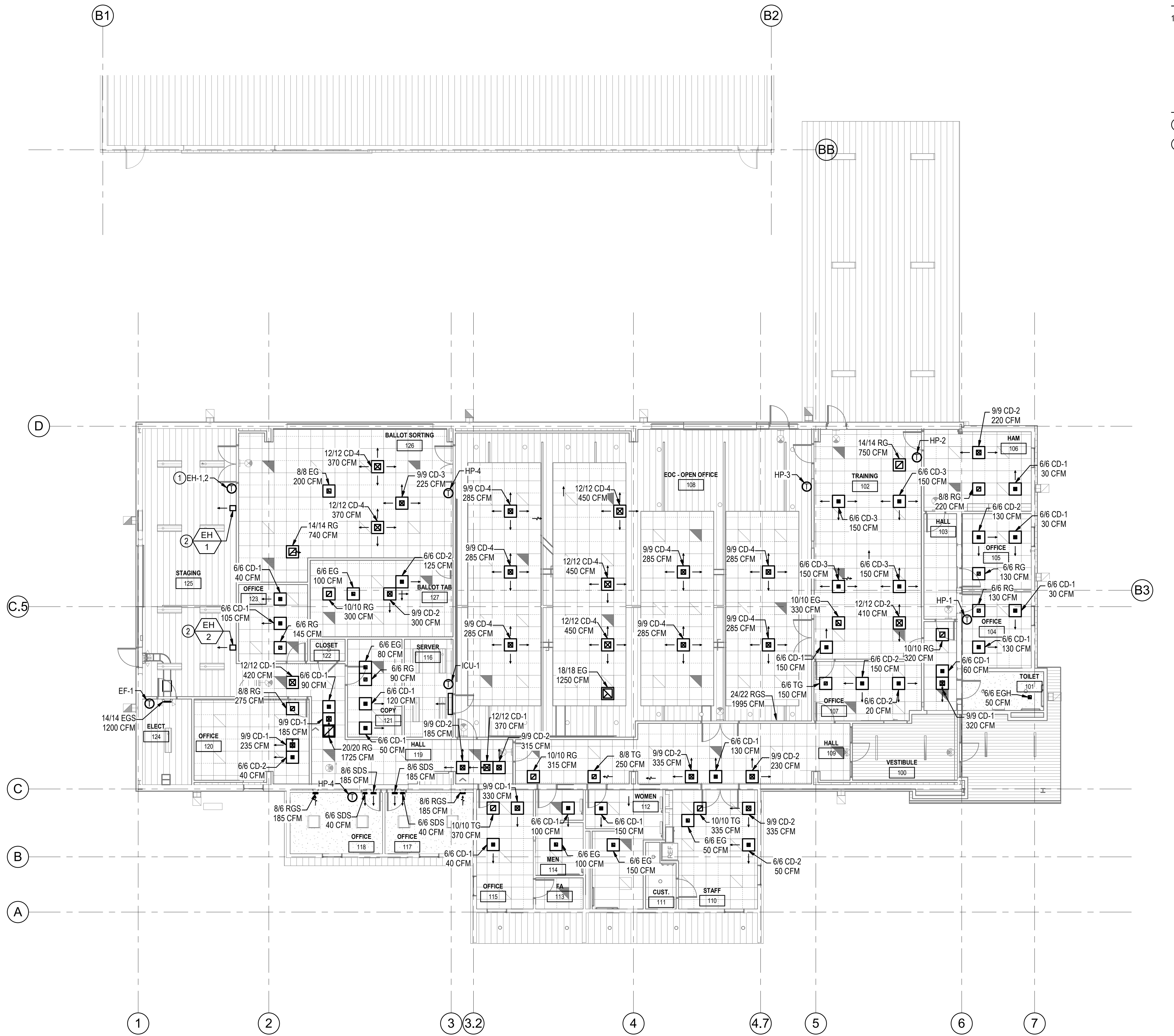
NO.	DATE	DESCRIPTION

BID SET

DATE: JUL 07, 2023
BA NO: 2021.03
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HVAC DUCTWORK PLAN

M1.03



1 HVAC REFLECTED CEILING PLAN
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

- 1 INTERLOCK THERMOSTAT CONTROL TO EWH-1,2.
- 2 SEE WALL MOUNT ELECTRIC UNIT DETAIL ON SHEET M5.01.

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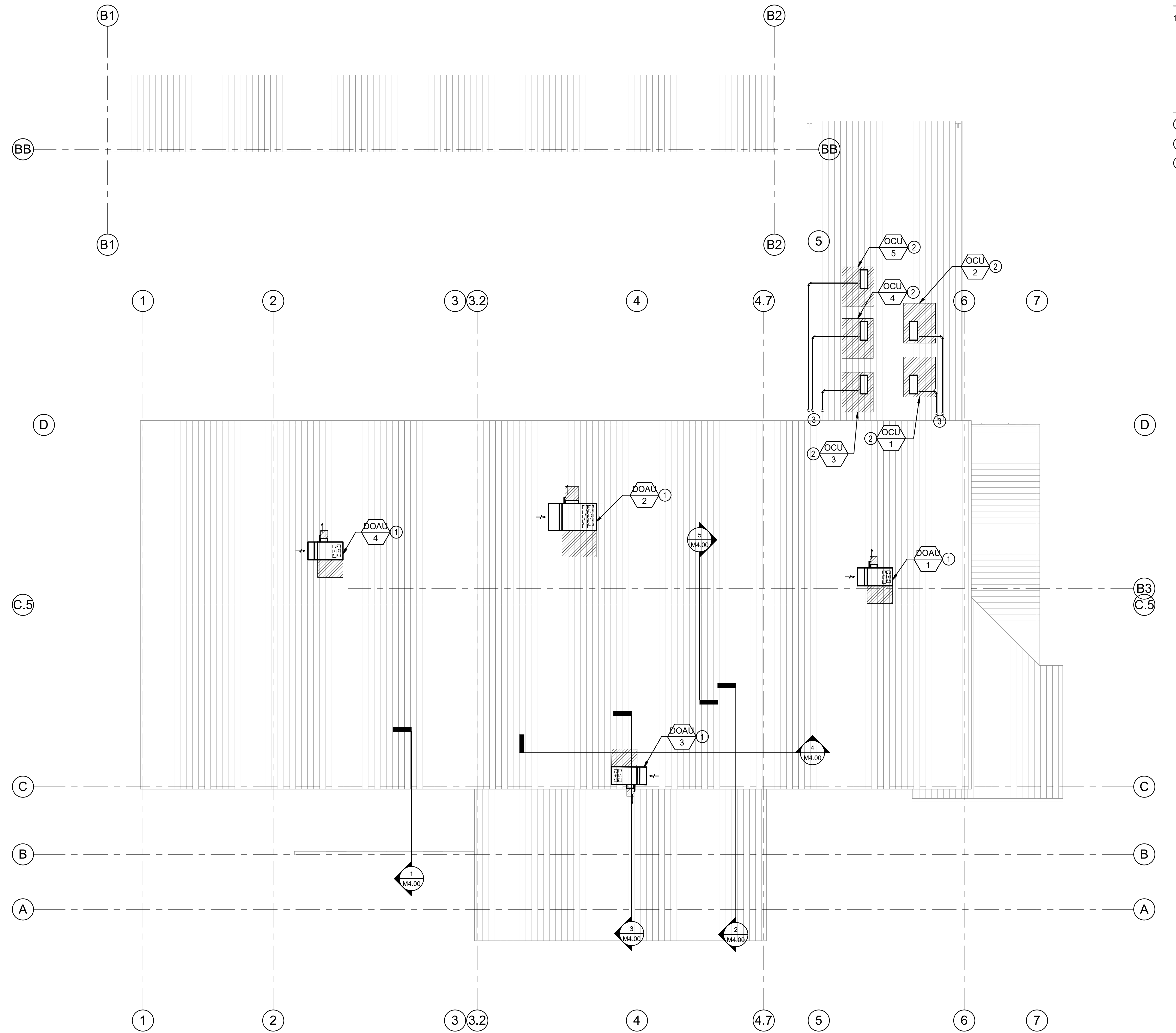
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BID SET
DATE: JUL 07, 2023
BA NO: 2021.03
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HVAC REFLECTED
CEILING PLAN

M1.04



GENERAL NOTES

1. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

1. SEE DETAIL 7 ON SHEET M5.01.
2. SEE DETAIL 4 ON SHEET M5.01.
3. SEE DETAIL 7 ON SHEET M5.00.

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HVAC ROOF PLAN

M1.05

1 HVAC ROOF PLAN
1/8" = 1'-0"

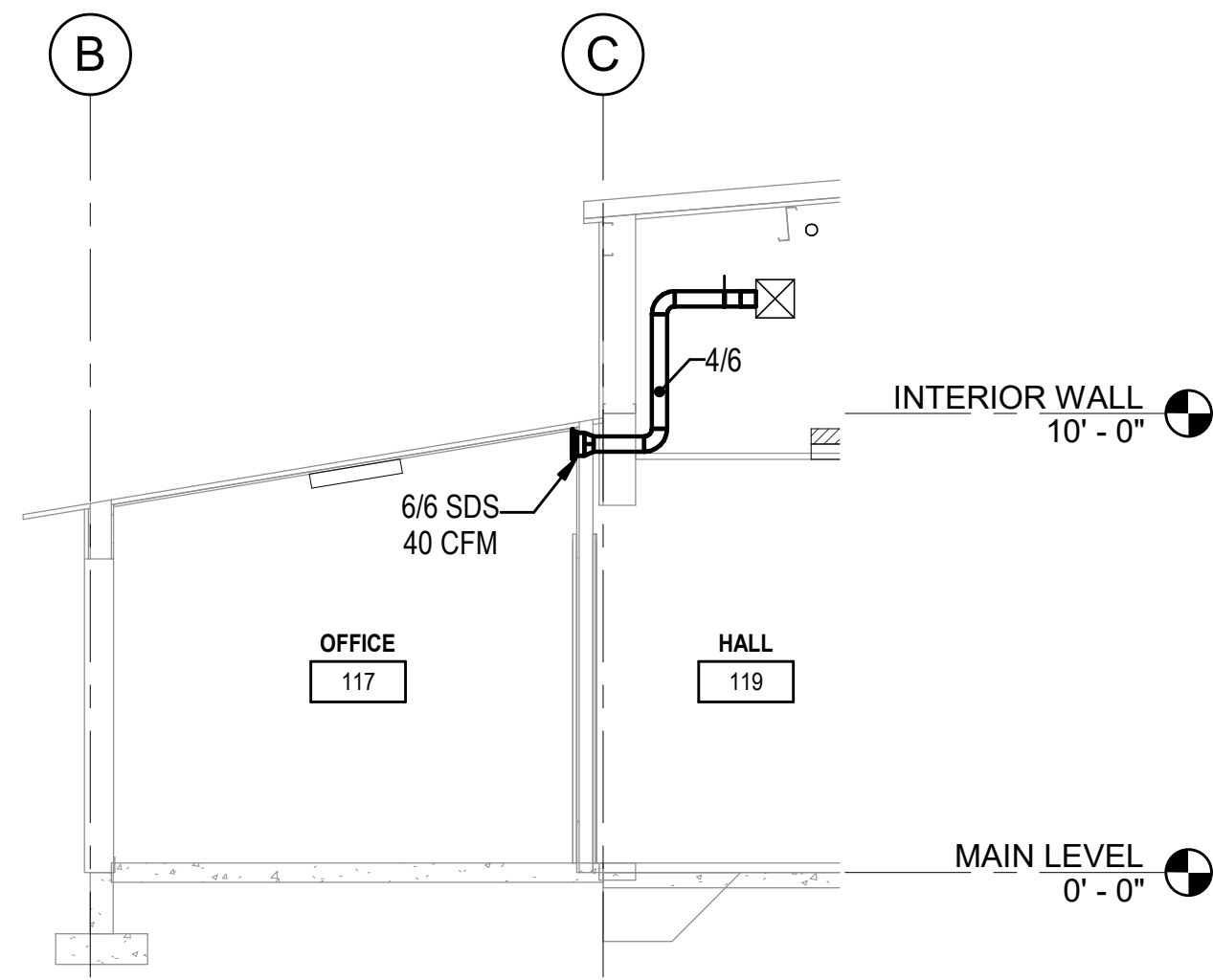
GENERAL NOTES

1. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

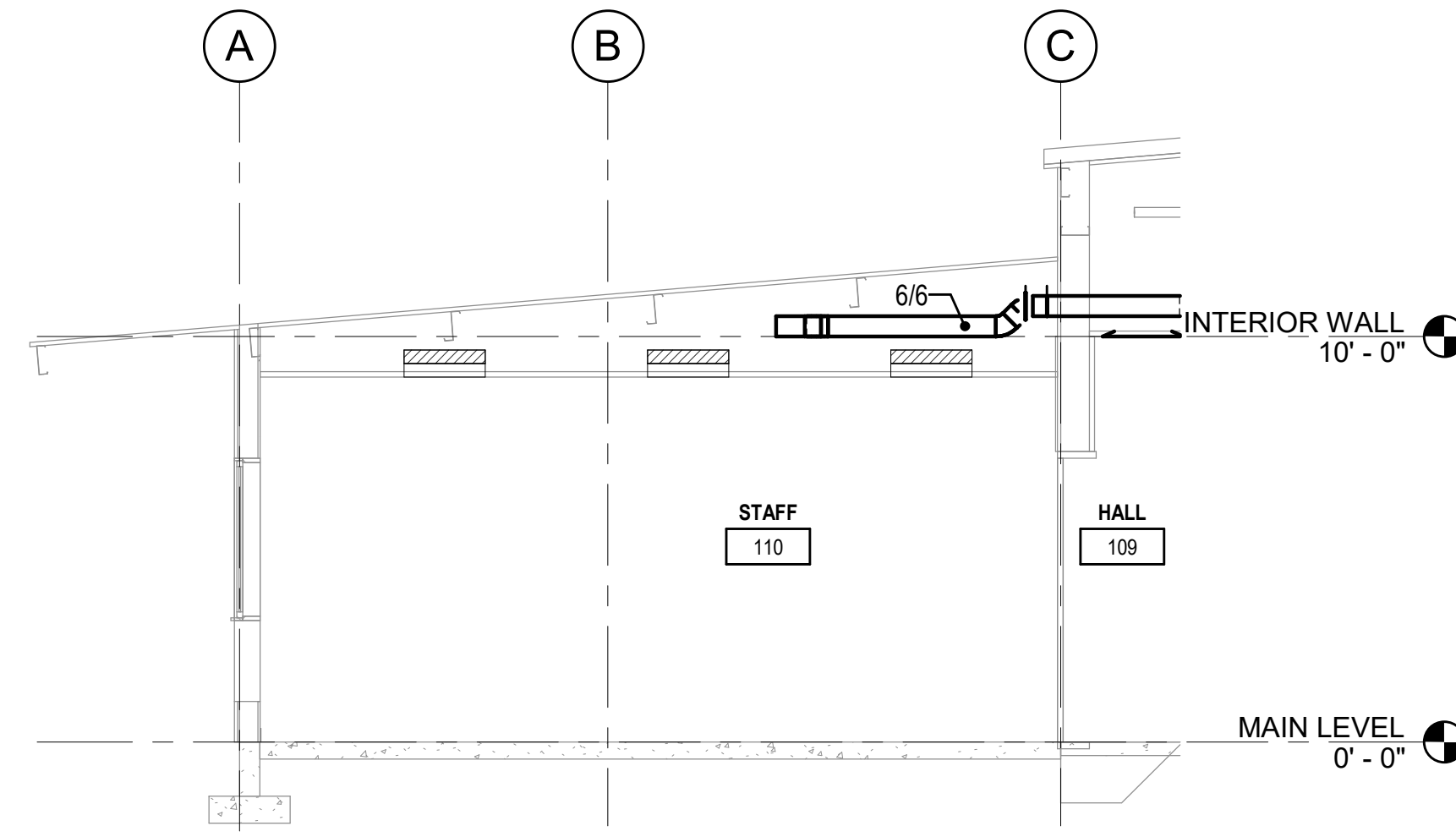
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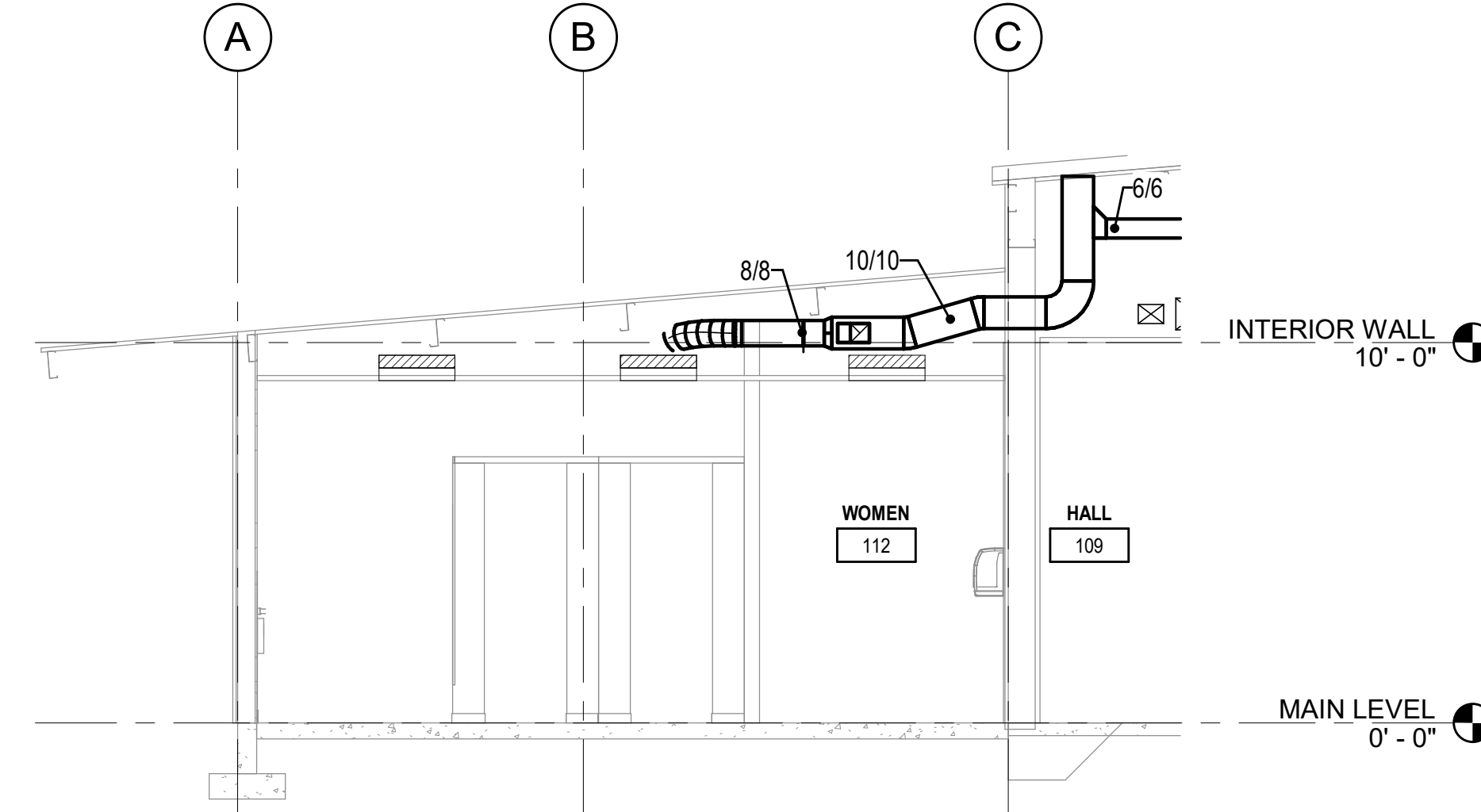
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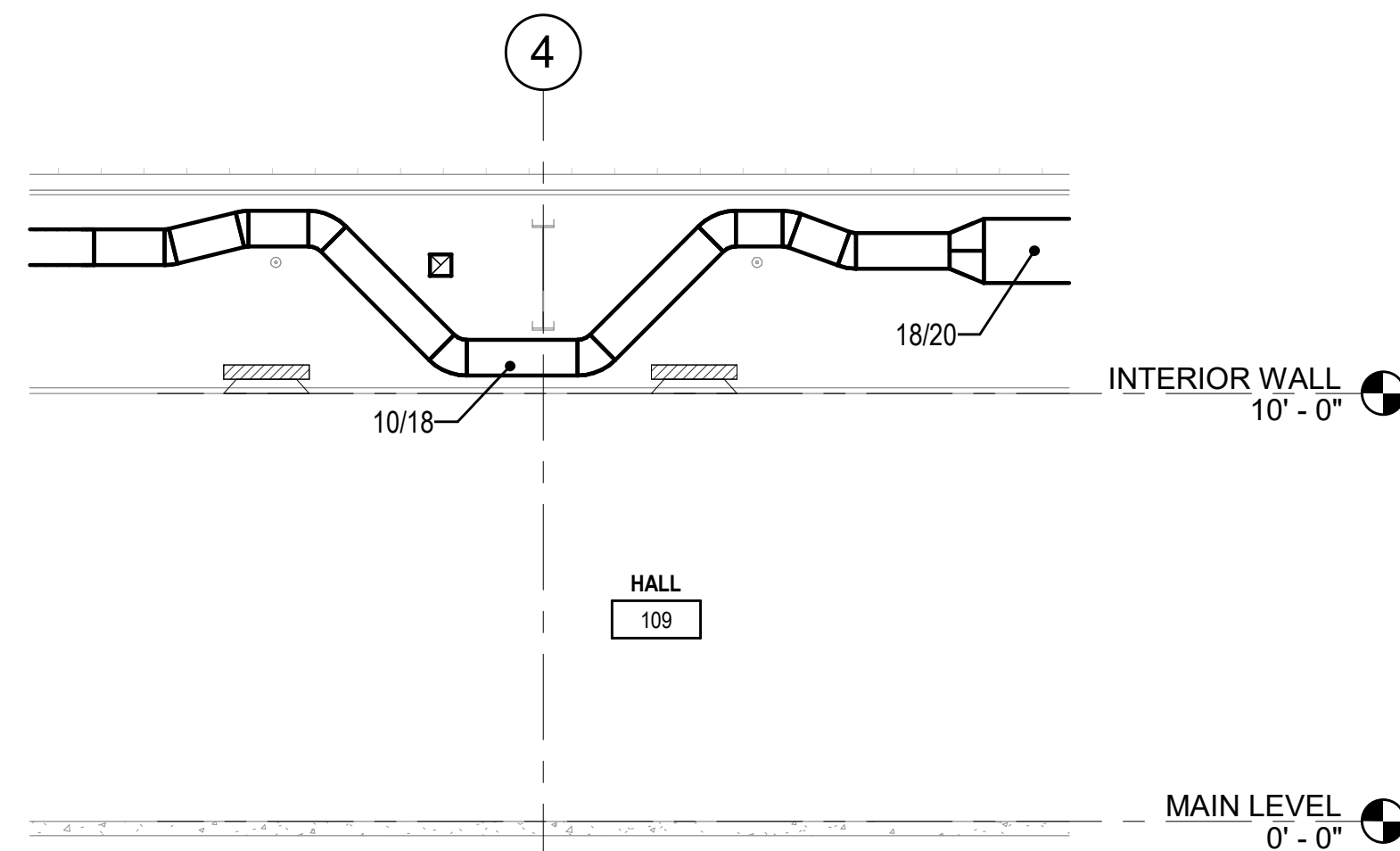
1 Mechanical Section 1
1/4" = 1'-0"



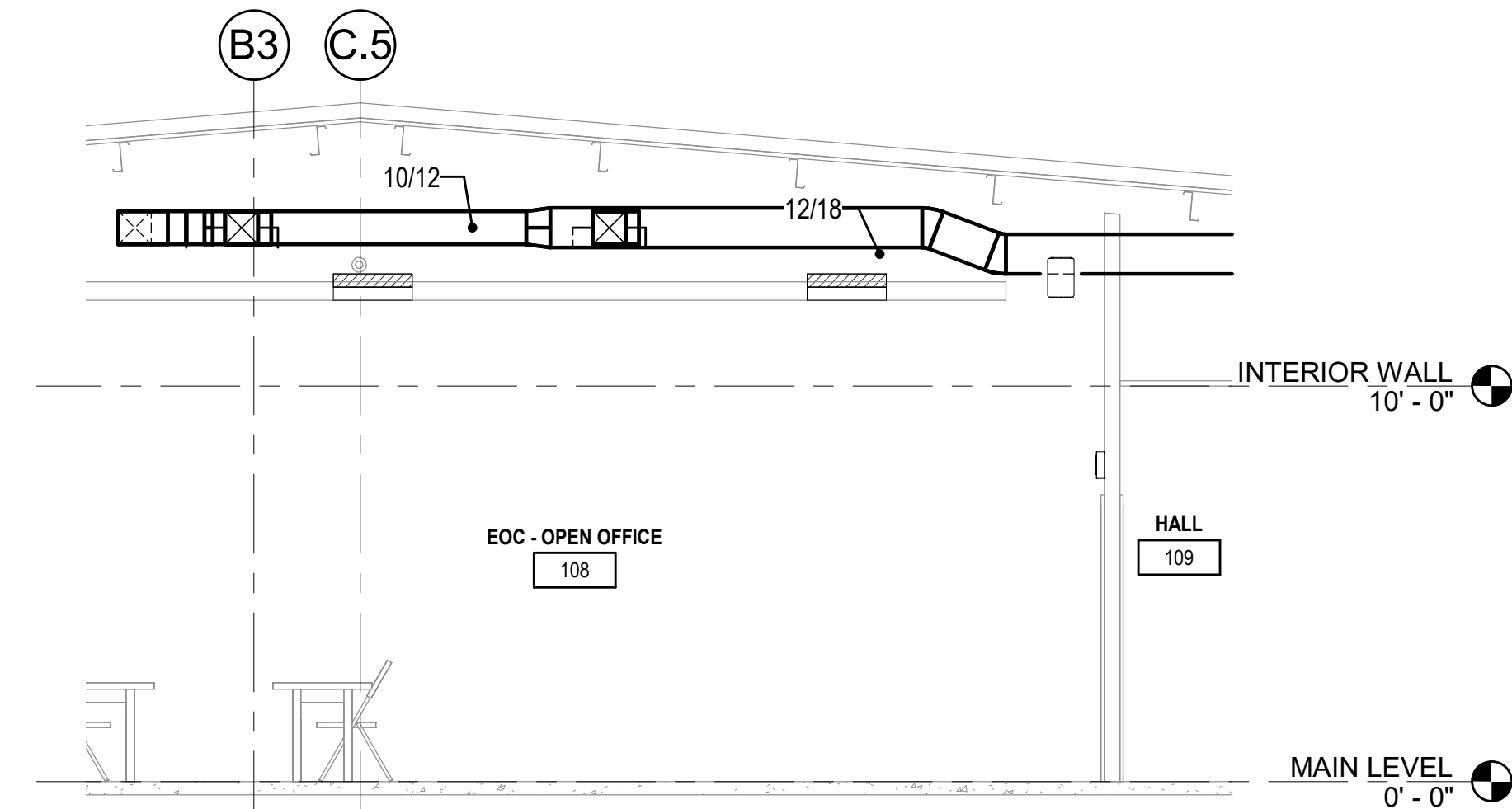
2 Mechanical Section 2
1/4" = 1'-0"



3 Mechanical Section 3
1/4" = 1'-0"



4 Mechanical Section 4
1/4" = 1'-0"



5 Mechanical Section 5
1/4" = 1'-0"

KCDM TENANT IMPROVEMENT
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REVISION SCHEDULE

NO.	DATE	DESCRIPTION

BID SET

DATE: JUL 07, 2023
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CHECKED: JH

MECHANICAL SECTIONS

M4.00

TELECOMM / SYSTEMS LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
NETWORK INFRASTRUCTURE (ROUGH-IN ONLY)		ACCESS CONTROL SYSTEM (ROUGH-IN ONLY)	
	TELECOMMUNICATIONS OUTLET - ROUGH-IN ONLY. PROVIDE FLUSH WALL MOUNT 4/S BOX WITH SINGLE-GANG MUDRING AND ONE (1) 1" CONDUIT TO ACCESSIBLE CEILING SPACE OR CABLE TRAY. MOUNT AT +18" AFF UNLESS NOTED OTHERWISE. ("C" INDICATES ABOVE COUNTER. "H" SHOWN FOR REFERENCE ONLY - CABLING BY OTHERS. "TV" INDICATES OUTLET MOUNTED BEHIND TV - MOUNT ADJACENT TO POWER RECEPTACLE.)		ACCESS CONTROL PANEL
	WIRELESS ACCESS POINT (WAP) TELECOMMUNICATIONS OUTLET - ROUGH-IN ONLY - CEILING MOUNT.		CARD READER - WALL MOUNT TO SINGLE-GANG BOX FLUSH TO WALL SURFACE AT +48" AFF.
	COMBINATION FLOOR BOX. PROVIDE (1) 1-1/4" CONDUIT SEPARATE AND DEDICATED FOR TELECOMMUNICATIONS CABLING ROUTED UP TO THE ACCESSIBLE CEILING SPACE OR CABLE TRAY, UNLESS NOTED OTHERWISE.		DOOR POSITION SWITCH
	TELECOMMUNICATIONS TELEPHONE OUTLET - ROUGH-IN ONLY. PROVIDE FLUSH WALL MOUNT 4/S BOX WITH SINGLE GANG MUDRING AND (1) 1" CONDUIT TO ACCESSIBLE CEILING SPACE OR CABLE TRAY. MOUNT AT +48" AFF, UNLESS NOTED OTHERWISE.		ELECTRIFIED DOOR HARDWARE - REFER TO DIVISION 8 FOR EXACT DEVICE
	CABLE TRAY - LADDER STYLE - PROVIDE SIZE AS SHOWN ON THE FLOOR PLANS		REQUEST TO EXIT MOTION SENSOR
	CABLE TRAY - WIRE MESH STYLE - PROVIDE SIZE AS SHOWN ON THE FLOOR PLANS		POWER-OVER-ETHERNET ELECTRIC LOCKSET
	TELECOMMUNICATIONS MAIN GROUNDING BAR - WALL MOUNT AT +18" AFF.		DOOR RELEASE BUTTON
	TELECOMMUNICATIONS GROUNDING BAR - WALL MOUNT AT +18" AFF.		INTERCOM DOOR STATION
12"x4" / 96" BOT	CABLE TRAY SIZE / ELEVATION CALLOUT / SERVICE TYPE	INTRUSION ALARM SYSTEM (ROUGH-IN ONLY)	
AUDIO VISUAL SYSTEMS (ROUGH-IN ONLY)		CCTV SYSTEM (ROUGH-IN ONLY)	
	A/V SYSTEM PROJECTOR LOCATION - SHOWN FOR REFERENCE ONLY - NO ROUGH-IN REQUIRED.		INTRUSION ALARM CONTROL PANEL
	A/V SYSTEM MONITOR LOCATION - PROVIDE RACO #256 BACKBOX WITH (1) 1-1/2" C. TO A/V RACK BACKBOX.		KEY PAD - WALL MOUNT AT 48" AFF. UNLESS NOTED OTHERWISE -- PROVIDE SINGLE-GANG BACKBOX WITH (1) 1" C TO ACCESSIBLE CEILING SPACE.
	A/V SYSTEM INPUT PANEL LOCATION - PROVIDE RACO #256 BACKBOX WITH (1) 1-1/2" C. TO A/V RACK BACKBOX. MOUNT AT +18" AFF.		MOTION SENSOR - WALL MOUNT IN THE CORNER AT +96" AFF. UNLESS OTHERWISE NOTED (LR INDICATES LONG RANGE BEAM). PROVIDE SINGLE-GANG BACKBOX WITH (1) 1" C TO ACCESSIBLE CEILING SPACE.
	A/V SYSTEM MOTORIZED PROJECTION SCREEN LOCATION - PROVIDE 3/4" C. FROM LOW VOLTAGE PROJECTION SCREEN CONTROL BOX TO A/V RACK BACKBOX.		DOOR POSITION SWITCH
	A/V SYSTEM CONTROL PANEL LOCATION - PROVIDE 4S BACKBOX WITH (1) 1" C. TO A/V RACK BACKBOX. MOUNT AT +48" AFF.	PUBLIC ADDRESS SYSTEM (ROUGH-IN ONLY)	
	A/V SYSTEM SPEAKER LOCATION - CEILING MOUNT - SHOWN FOR REFERENCE ONLY - NO ROUGH-IN REQUIRED.		PUBLIC ADDRESS LOUDSPEAKER ASSEMBLY - ROUGH-IN LOCATION SHOWN FOR REFERENCE ONLY.
EQUIPMENT AND WIRING		MISCELLANEOUS	
	RACEWAY CONCEALED IN WALL OR CEILING		CONSTRUCTION NOTES
	RACEWAY CONCEALED UNDERGROUND OR UNDER FLOOR SLAB		DEMOLITION NOTES
	GROUNDING SYSTEM PER CODE		DOOR NUMBER
	JUNCTION BOX - SIZE PER CODE (F INDICATES FIRE ALARM SYSTEM)		DETAIL CALL OUT - "1" INDICATES DETAIL IDENTIFICATION, "A101" INDICATES SHEET DRAWN ON
	4-POST 19" RACK/ENCLOSURE (ARROW INDICATES AIRFLOW AT FRONT OF RACK) - SHOWN FOR REFERENCE ONLY - OFOI		ALL DEVICES WITH LIGHT LINE WEIGHT INDICATES EXISTING TO BE RETAINED
	2-POST 19" RACK (ARROW INDICATES AIRFLOW AT FRONT OF RACK) - SHOWN FOR REFERENCE ONLY - OFOI		ALL DEVICES WITH DASH LINE INDICATES EXISTING TO BE REMOVED
			ELECTRICAL POWER PANELS SHOWN FOR REFERENCE ON TELECOMM/ SYSTEMS DRAWINGS

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
BAS	BUILDING AUTOMATION SYSTEM
BCT	BONDING CONDUCTOR FOR TELECOMMUNICATIONS
BET	BUILDING ENTRANCE TERMINAL
BMS	BUILDING MANAGEMENT SYSTEM
BOT	BOTTOM OF TRAY
C	MOUNT ABOVE COUNTER
C.	CONDUIT
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CO	CONDUIT ONLY
CU	COPPER
DDC	DIRECT DIGITAL CONTROL
EC	ELECTRICAL CONTRACTOR
EF	TELECOMMUNICATIONS ENTRANCE FACILITY (MDF)
ER	TELECOMMUNICATIONS EQUIPMENT ROOM (MDF)
FOC	FIBER OPTIC CABLE
G	GROUND FAULT
GC	GENERAL CONTRACTOR
GE	GROUNDING EQUALIZER
GEC	GROUNDING ELECTRODE CONDUCTOR
GR	GROUND
IDF	INTERMEDIATE DISTRIBUTION FRAME (TR/TE)
LIU	LIGHT INTERFACE UNIT (INCLUDES FIBER SPLICE TRAY AND PATCH PANEL)
MDF	MAIN DISTRIBUTION FRAME (ER/EF)
MM	MULTI MODE (FOC)
REQ'D	REQUIRED
SBG	SUPPLEMENTARY BONDING GRID
SM	SINGLE MODE (FOC)
SPD	SURGE PROTECTIVE DEVICE
TBB	TELECOMMUNICATIONS BONDING BACKBONE
TE	TELECOMMUNICATIONS ENCLOSURE (IDF)
TGB	TELECOMMUNICATIONS GROUNDING BUS BAR
TMGB	TELECOMMUNICATIONS MAIN GROUNDING BUS BAR
TR	TELECOMMUNICATIONS ROOM (IDF)
UC	UNDER COUNTER
UG	UNDERGROUND
W	WEATHERPROOF (PROVIDE WEATHERPROOF COVER/DEVICE WHERE SHOWN ON PLANS)
WAP	WIRELESS ACCESS POINT
WG	WIRE GUARD (PROVIDE ON DEVICES WHERE SHOWN ON PLANS)
XMFR	TRANSFORMER

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DATE: JUL 07, 2023
BA NO: 2021.03
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SYSTEMS LEGEND

E0.02

GENERAL NOTES

- REVIEW ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATIONS OF AREAS WITH ACCESSIBLE CEILING SPACES, HARD LID CEILINGS, AND AREAS WITH CEILINGS THAT ARE OPEN TO STRUCTURE. PROVIDE SURFACE-MOUNTED DEVICES AND THEIR RELATED SURFACE MOUNT BACK BOXES IN AREAS WITH CEILINGS THAT ARE OPEN TO STRUCTURE. PAINT EACH BACKBOX TO MATCH THE ADJACENT SURFACE.
- ROOMS AND/OR AREAS WITH EXPOSED CEILINGS SHALL HAVE ALL CABLES ROUTED IN CONDUIT. CONDUIT SHALL BE TIGHT TO STRUCTURE, ROUTED PARALLEL AND ADJACENT TO STRUCTURE, AND SHALL BE PAINTED TO MATCH ADJACENT SURFACE. SURFACE MOUNTED CONDUITS SHALL NOT BE UTILIZED IN OCCUPIED SPACES.
- FIRE WALLS SHOWN ARE DIAGRAMMATIC, REFER TO FINAL ARCHITECTURAL DRAWINGS FOR RATED WALLS, AND PROVIDE FIRE RATED PENETRATIONS FOR ALL CABLES TRANSITIONING THROUGH RATED WALLS. EC SHALL FIRE SEAL AROUND ALL CONDUITS PENETRATING THROUGH FLOORS, ROOF, AND FIRE RATED WALLS.
- WHERE OPEN CABLING IS PERMITTED BY CODE, EACH LOW VOLTAGE SYSTEM SHALL HAVE THEIR CABLES SUSPENDED SEPARATE FROM OTHER LOW VOLTAGE SYSTEMS (I.E. FIRE ALARM CABLES IN ONE J-HOOK, INTRUSION ALARM IN ANOTHER J-HOOK, AND SO ON). ALL CABLES MUST BE ROUTED IN CONDUIT IN AREAS WITH EXPOSED CEILINGS.
- ALL OUTLETS, SWITCHES AND DEVICES MOUNTED BACK TO BACK IN A WALL, MUST LOCATED IN SEPARATE STUD BAYS, OR FURNISHED WITH SOUND ATTENUATING MATERIAL AROUND THE BOX TO MEET ACOUSTICAL REQUIREMENTS.
- ALL TYPICAL DEVICES SHALL BE MOUNTED AT CONSISTENT LOCATIONS AND HEIGHTS THROUGHOUT THIS PROJECT, UNLESS NOTED OTHERWISE. INSTALL ALL TELECOMMUNICATIONS OUTLETS AT CONSISTANT DISTANCE TO ADJACENT RECEPTACLES.
- SEE THE SITE PLANS FOR ADDITIONAL WORK.
- CAMERAS SHALL BE LOCATED AS SUCH TO AVOID RESTRICTING THE CAMERAS FIELD OF VIEW FROM: EXIT SIGNS, LIGHTING, DOOR HEADERS, BUILDING FEATURES, BANNERS, OR OTHER (ART) ITEMS HANGING FROM THE CEILING. COORDINATE WITH ALL TRADES AS REQUIRED PRIOR TO ROUGH-IN.
- REVIEW ALL EXTERIOR MOUNTED EQUIPMENT FOR AIR BARRIER PENETRATIONS. SEE ARCHITECTURAL DETAILS FOR REQUIREMENTS ON MAINTAINING THE BUILDING'S ENVELOPE.
- SEE ALL DETAIL SHEETS AND RISER DIAGRAMS FOR ADDITIONAL WORK REQUIRED BY SECTION 272000.
- FOR ALL BACKBOXES THAT ARE ROUGHED IN FOR ITEMS IDENTIFIED ON THE PLANS, PROVIDE APPROPRIATE BLANK COVER PLATES (WEATHERPROOF IF EXTERIOR).

GENERAL NOTES FOR LIGHTING FIXTURE SCHEDULE

- SEE DRAWINGS FOR EMERGENCY LIGHTING FIXTURES.
- FOR LIGHTING CONTROLS WHICH INCLUDE DAYLIGHT, OCCUPANCY SENSORS AND TIME CLOCK CONTROLS, THE ELECTRICAL CONTRACTOR SHALL PROVIDE TESTING OF THE CONTROL DEVICES, COMPONENTS, EQUIPMENT AND SYSTEMS TO MAKE SURE THEY ARE CALIBRATED, ADJUSTED AND OPERATE IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS. SEQUENCES OF OPERATION SHALL BE FUNCTIONALLY TESTED IN THE PRESENCE OF THE ENGINEER. A COMPLETE REPORT OF TEST PROCEDURES AND RESULTS SHALL BE PREPARED AND FILED WITH THE OWNER.
- FIXTURE TYPES LISTED ARE TO INDICATE THE TYPE OF STYLE, LAMPING CHARACTERISTICS AND MOUNTING REQUIRED TO FACILITATE THE DESIGN. OTHER FIXTURE MANUFACTURERS MEETING THE LIGHT FIXTURE TYPE CRITERIA ARE ACCEPTABLE UPON EVALUATION BY THE ENGINEER.

LIGHTING FIXTURE SCHEDULE

DESIGNATION	FIXTURE DESCRIPTION	MANUFACTURER/MODEL #	LAMPS	DELIVERED LUMENS	V	W	MOUNTING & REMARKS
BL1	42" HIGH BOLLARD	LITHONIA LIGHTING RADB-LED-PSSYM-FAO-BTTDBLXD/BCCDBLXD	LED-40K	2551	120	31	ARCHITECT TO SELECT COLOR.
EX1	EMERGENCY EXIT SIGN	LITHONIA LIGHTING LHQM-LED-R	LED		120	4.3	
EX2	COMBINATION EMERGENCY EGRESS LIGHT AND EXIT SIGN	LITHONIA LIGHTING LHQM-LED-R-M6	LED		120	4.3	
EX3	EMERGENCY EGRESS LIGHT	LITHONIA LIGHTING ELM2L UVOLT LTP M12	LED		120	1.09	
FL1	FLAG POLE LIGHT	FC LIGHTING FCF1106-UNV-4K-CR190-36L-BKE-40-LD-CV6-KM-FEX6	LED-40K	3620	120	26	PROVIDE WITH 12"W x 12"L x 6"D CONCRETE SQUARE PAD FOR MOUNTING OF LIGHT
PL1	4" DIAMETER PENDANT DOWNLIGHT	LITHONIA LIGHTING LDN4CYL-40/20-L04-AR-LSS-120-GZ10-ACC*	LED-40K	2006	120	22.5	ARCHITECT TO SELECT COLOR MOUNT AT +13' AFF
PL1E	4" DIAMETER PENDANT DOWNLIGHT ON EMERGENCY LIGHTING INVERTER	LITHONIA LIGHTING LDN4CYL-40/20-L04-AR-LSS-120-GZ10-ACC*	LED-40K	2006	120	22.5	ARCHITECT TO SELECT COLOR MOUNT AT +13' AFF
RL1	6" DIAMETER DOWNLIGHT	LITHONIA LIGHTING LDN6-20LM-40-L06-AR-LSS-120-UGZ	LED-40K	2006	120	22.5	
RL1E	6" DIAMETER DOWNLIGHT WITH EMERGENCY BATTERY PACK	LITHONIA LIGHTING LDN6-20LM-40-L06-AR-LSS-120-UGZ-E10WCP	LED-40K	2006	120	22.5	
RL2	2x2 FLAT PANEL - LED TROFFER	LITHONIA LIGHTING CPX-2X2-3200LM-40K-SWL-MIN10-ZT-MVOLT	LED-40K	3659	120	31.5	
RL2E	2x2 FLAT PANEL - LED TROFFER WITH EMERGENCY BATTERY PACK	LITHONIA LIGHTING CPX-2X2-3200LM-40K-SWL-MIN10-ZT-MVOLT-E10WLCPC	LED-40K	3659	120	31.5	
RL3	4" RECESSED LINEAR LED FIXTURE	ARCHITECTURAL AREA LIGHTING RN-R-4-740K8-SM-DL-UNV-DF-EMF2-BLT	LED-40K	3000	120	37.8	
RL3E	4" RECESSED LINEAR LED FIXTURE WITH BATTERY PACK	ARCHITECTURAL AREA LIGHTING RN-R-4-740K8-SM-DL-UNV-DF-EMF2-BLT-EM	LED-40K	3000	120	37.8	
SL1	INDUSTRIAL SURFACE MOUNT/CHAIN HANG WITH MOTION SENSOR	LITHONIA LIGHTING CSS-L48-AL03-MVOLT-40K-80CRI-SFR30CSS-HC36-M12	LED-40K	3247	120	27.7	
SL1E	INDUSTRIAL SURFACE MOUNT/CHAIN HANG WITH EMERGENCY BATTERY PACK AND MOTION SENSOR	LITHONIA LIGHTING CSS-L48-AL03-MVOLT-40K-80CRI-E10WCPHE-SFR30CSS-HC36-M12	LED-40K	3247	120	27.7	
SL2	2X2 SURFACE MOUNT FLAT PANEL	LITHONIA LIGHTING CPX-2X2SMKSH-3200LM-40K-120	LED-40K	3659	120	31.5	
SL3	4' LONG SURFACE MOUNT VAPERITTE LED UNDER CANOPY	LITHONIA LIGHTING CSVT L48 5000LM MVOLT 40K 80CRI	LED-40K	4946	120	42	
SL4	4' LONG SURFACE MOUNT WALLWASH	PEERLESS LIGHTING OPMW S 4FT 80CRI 40K 510LMF 120V	LED-40K	2132	120	20.4	
UL1	2' LONG UNDERCOUNTER LIGHT	LITHONIA LIGHTING UCLD-24IN-30K-90CRI/UCCD-JB	LED-30K	740	120	13	MOUNT TO UNDERSIDE OF UPPER CASEWORK, COORDINATE WIT CASEWORK INSTALLER.
WL1	2' LONG VANITY LIGHT	LITHONIA LIGHTING FMVCCLS-24IN-MVOLT-40K-90CRI-BN-M6	LED-40K	1690	120	27	MOUNT AT 4" ABOVE MIRROR. ARCHITECT TO SELECT FINISH
WL2	EXTERIOR LED WALL PACK	LITHONIA LIGHTING WPX1 LED P2 40K MVOLT-PE*-	LED-40K	2900	120	24	ARCHITECT TO SELECT COLOR
WL2E	EXTERIOR LED WALL PACK WITH EMERGENCY BATTERY PACK	LITHONIA LIGHTING WPX1 LED P2 40K MVOLT-E4WH*-	LED-40K	2900	120	24	ARCHITECT TO SELECT COLOR

COMMISSIONING REQUIREMENTS FOR LIGHTING CONTROL SYSTEM, CONTROLLED RECEPTACLES AND METERING

- LIGHTING CONTROL SYSTEMS AND CONTROLLED RECEPTACLES SHALL BE TESTED AND VERIFIED PER WASHINGTON STATE ENERGY CODE SECTION C408.4.1.
- FUNCTION PERFORMANCE TESTING SHALL DEMONSTRATE THAT THE OCCUPANT SENSORS, TIME SWITCHES, MANUAL OVERRIDES, NIGHT SWEEP-OFF, DAYLIGHT RESPONSIVE CONTROL, AND CONTROLLED RECEPTACLES ARE INSTALLED AND OPERATE IN ACCORDANCE WITH APPROVED CONSTRUCTION DOCUMENTS. TESTING SHALL INCLUDE THE SEQUENCE OF OPERATION AND BE CONDUCTED UNDER THE FOLLOWING CONDITIONS:
 - NORMAL OPERATION
 - REDUNDANT OR AUTOMATIC BACK-UP MODE
 - PERFORMANCE OF ALARMS AND
 - MODE OF OPERATION UPON A LOSS OF POWER AND RESTORATION OF POWER.

- METERING EQUIPMENT, COMPONENTS, CONTROLS AND CONFIGURATION SETTINGS INCLUDED IN THIS PROJECT SHALL BE INCLUDED IN THE COMMISSIONING PROCESS. FUNCTION PERFORMANCE TESTING SHALL INCLUDE FUNCTION AND MAINTENANCE SERVICEABILITY. TESTING SHALL INCLUDE THE SEQUENCE OF OPERATION AND BE CONDUCTED UNDER THE FOLLOWING CONDITIONS:
 - METERING SYSTEM DEVICES AND COMPONENTS WORK PROPERLY UNDER LOW AND HIGH LOAD CONDITIONS.
 - METERING DATA IS DELIVERED IN A FORMAT THAT IS COMPATIBLE WITH THE BUILDING ENERGY MANAGEMENT SYSTEM.

MECHANICAL EQUIPMENT CONNECTION SCHEDULE (EXHAUST FANS, AIR HANDLING UNITS, ETC)

EQUIP.	VOLTPH	LOAD			CIRCUIT		CONDUIT/WIRE SIZE (CU) (NOTE 4)	MANUAL STARTER (NOTE 1)	MAGNETIC STARTER (NOTE 1)	FUSED DISC WITH FUSES (NOTES 1 & 5)	MOTOR RATED DISC. SWITCH. (NOTE 1)	DUCT DETECTOR (NOTE 2)	REMARKS
		VA	MCA	HP	PANEL	BKR							
EF- 1	120/1	696	5.8	1/4	RM1	1	3/4" C., (2)#12 & (1) #12 GR	MFR	---	---	EC		
EH- 1	120/1	1900	15.6		RM1	3	3/4" C., (2)#12 & (1) #12 GR		MFR		EC		
EH- 2	120/1	1900	15.6		RM1	5	3/4" C., (2)#12 & (1) #12 GR		MFR		EC		
DOAU- 1	208/1	5512	26.5		RM1	2,4	1" C., (3) #8 & (1) #10 GR		MFR	EC-35A			NOTE 3 & 6
DOAU- 2	208/3	12733	35.4		RM1	14,16,18	3/4" C., (4) #8 & (1) #10 GR		MFR	EC-40A			NOTE 3 & 6
DOAU- 3	120/1	2964	24.7		RM1	6	3/4" C., (2)#8 & (1) #10 GR		MFR	EC-35A			NOTE 3 & 6
DOAU- 4	120/1	2964	24.7		RM1	8	3/4" C., (2)#8 & (1) #10 GR		MFR	EC-35A			NOTE 3 & 6
DH- 1	208/3	3500	12.2		RM2	1,3,5	3/4" C., (4)#12 & (1) #12 GR			EC-20A			
DH- 2	208/3	4200	14.6		RM2	7,9,11	3/4" C., (4)#12 & (1) #12 GR			EC-20A			
DH- 3	208/3	1100	3.8		RM2	2,4,6	3/4" C., (4)#12 & (1) #12 GR			EC-20A			
DH- 4	208/3	1000	3.5		RM2	8,10,12	3/4" C., (4)#12 & (1) #12 GR			EC-20A			
HP- 1A	208/1	4514	21.7		RM1	7,9	1" C., (3) #8 & (1) #10 GR		MFR	EC-35A			
HP- 1B	208/1	7500	45.07		RM2	13,15	1" C., (3) #8 & (1) #10 GR			EC-50A			DUCT HEATER
HP- 2A	208/1	4514	21.7		RM1	11,13	1" C., (3) #8 & (1) #10 GR		MFR	EC-35A			
HP- 2B	208/1	7500	45.07		RM2	17,19	1" C., (3) #8 & (1) #10 GR			EC-50A			DUCT HEATER
HP- 3A	208/1	1560	7.5		RM1	15,17	3/4" C., (3) #12 & (1) #12 GR		MFR	EC-15A			
HP- 3B	208/1	5000	30		RM2	14,16	3/4" C., (3) #10 & (1) #10 GR			EC-30A			DUCT HEATER # 1
HP- 3C	208/1	10000	60		RM2	18,20	1" C., (3) #6 & (1) #8 GR			EC-60A			DUCT HEATER #2
HP- 4A	208/1	541	2.6		RM1	19,21	3/4" C., (3) #12 & (1) #12 GR		MFR	EC-15A			
HP- 4B	208/1	5000	30		RM2	22,24	3/4" C., (3) #10 & (1) #10 GR			EC-30A			DUCT HEATER # 1
HP- 4C	208/1	10000	60		RM2	26,28	1" C., (3) #6 & (1) #8 GR			EC-60A			DUCT HEATER #2
HP- 5A	208/1	5491	26.4		RM1	23,25	1" C., (3) #8 & (1) #10 GR		MFR	EC-40A			
HP- 5B	208/1	7500	45.07		RM2	21,23	1" C., (3) #8 & (1) #10 GR			EC-50A			DUCT HEATER
ICU- 1	208/1	4160	20		RM1	27,29	1" C., (3) #10 & (1) #10 GR		MFR	EC-30A			
CU- 1	208/1	4160	20		RM1	31,33	1" C., (3) #10 & (1) #10 GR		MFR	EC-30A			NOTE 3
OCU- 1	208/1	4514	21.7		RM1	20,22	1" C., (3) #8 & (1) #10 GR		MFR	EC-35A			NOTE 3
OCU- 2	208/1	4514	21.7		RM1	24,26	1" C., (3) #8 & (1) #10 GR		MFR	EC-35A			NOTE 3
OCU- 3	208/1	6656	32		RM1	28,30	1" C., (3) #6 & (1) #10 GR		MFR	EC-50A			NOTE 3
OCU- 4	208/1	6656	32		RM1	32,34	1" C., (3) #6 & (1) #10 GR		MFR	EC-50A			NOTE 3
OCU- 5	208/1	5491	26.4		RM1	36,38	1" C., (3) #8 & (1) #10 GR		MFR	EC-40A			NOTE 3
HWT- 1	208/1	9000	54		RM1	35,37	1-1/4" C., (3) #6 & (1) #10 GR			EC-60A			
CP- 1	120/1	33	0.3		RM1	39	3/4" C., (2)#12 & (1) #12 GR	EC			EC		ROUTE CIRCUIT THROUGH AQUA-STAT

- NOTE:
- CONTRACTOR LISTED SHALL FURNISH AND INSTALL THE LISTED DEVICE.
 - DUCT SMOKE DETECTORS SHALL BE FURNISHED AND WIRED BY THE ELECTRICAL CONTRACTOR AND INSTALLED BY THE MECHANICAL CONTRACTOR.
 - PROVIDE WEATHERPROOF DEVICES AND CONNECTIONS.
 - ALL FEEDERS TO MECHANICAL EQUIPMENT ARE TO BE COPPER.
 - FUSES SHALL BE SIZED PER EQUIPMENT MANUFACTURER SUGGESTED RATING AS LISTED ON THE EQUIPMENT.
 - VFD FURNISHED BY MC, EC TO INSTALL AND PROVIDE CONNECTIONS TO IT FOR MECHANICAL EQUIPMENT.

2019 WASHINGTON STATE ENERGY CODE COMPLIANCE REFERENCES

CODE REFERENCE	DESCRIPTION	TOTAL SQ. FT. OF EGRESS PATH	FIXTURE TYPE	TOTAL WATTAGE	W/SQ.FT	COMPLIANCE METHOD
C405.2.5 - ITEM 7	MEANS OF EGRESS LIGHTING - 1st FLOOR	4079	RL3E/RL2E/PL1E	566	0.14	EGRESS LIGHTS ARE OCCUPANCY SENSOR CONTROLLED AFTER 10:00 P.M.
C405.2.5 - ITEM 7	MEANS OF EGRESS LIGHTING - 2nd FLOOR	3607	RL3E/PL1E	378	0.10	EGRESS LIGHTS ARE OCCUPANCY SENSOR CONTROLLED AFTER 10:00 P.M.
CODE REFERENCE	DESCRIPTION	FIXTURE EFFICACY	FIXTURE TYPE	FIXTURE WATTAGE		COMPLIANCE METHOD
C405.5.1	EXTERIOR BUILDING GROUNDS LIGHTING CONTROLS	64	AH2	112		LIGHTS PROVIDED WITH OCCUPANCY SENSORS MOUNTED ON THE POLES LIGHTS PROVIDED WITH OCCUPANCY SENSORS MOUNTED ON THE POLES
C405.5.1	EXTERIOR BUILDING GROUNDS LIGHTING CONTROLS	64	AH1	224		
CODE REFERENCE	DESCRIPTION	LOCATION OF MASTER SWITCH	MAX. AMPACITY PER LIGHTING CIRCUIT	MAX WATTAGE PER LIGHTING CIRCUIT		COMPLIANCE METHOD
C405.2.5	AREA CONTROLS - MASTER CONTROL SWITCHES AND CIRCUIT POWER LIMIT	ADMIN AREA 101	16 AMPS	1920 WATTS		SWITCH CONTROLS ALL CORRIDOR LIGHTING - THERE ARE INDIVIDUAL SWITCHES ALSO AT CORRIDORS FOR INDEPENDENT CONTROL

LIGHTING & CONTROLLED RECEPTACLES SEQUENCE OF OPERATION

GENERAL REQUIREMENTS

- PROVIDE AUXILIARY CONTACT FOR INTERFACE TO ENERGY MANAGEMENT SYSTEM FOR CONTROL OF EQUIPMENT DURING UNOCCUPIED TIMES.
- VACANCY/OCCUPANCY SENSORS SHALL BE CONNECTED TOGETHER FOR CONTROL OF ALL LIGHTS IN THE ROOM. SET UP SENSORS IN VACANCY MODE. VACANCY SENSOR TIME OUT PERIOD SHALL BE SET FOR 20-MINUTES
- PHOTOCELLS TO BE INTEGRAL TO THE LIGHT FIXTURES WHEN THEY CAN BE OR INSTALLED IN EDGE OF PRIMARY AND SECONDARY DAYLIGHT ZONES. TRIGGER ONE OF THE PHOTOCELLS TO CONTROL LIGHTS IN PRIMARY DAYLIGHT ZONES, TRIGGER TWO OF THE PHOTOCELLS TO CONTROL LIGHTS IN SECONDARY DAYLIGHT ZONES.
- PROGRAMMING SHALL BE PROVIDED FOR TIME ADJUSTMENT OF LIGHTS ON SITE.
- ALL LIGHTS WHERE INDICATED SHALL BE CONTROLLED VIA 0-10V DIMMING.
- THE LIGHTING CONTROL SYSTEM SHALL BE NETWORKED WITH/WITHOUT THE USE OF BATTERIES.

EOC/CONFERENCE ROOM LIGHTING CONTROLS

- ROOM LIGHTS (DESIGNATION 'c')
 - LIGHTS IN PRIMARY DAYLIGHT ZONE (DZ1) - DIM CONTROLLED WITH PHOTOCELL - TRIGGER LEVEL 1. LIGHTS TO BE PROGRAMMED TO OPERATE TOGETHER AS (1) ZONE. NO MORE THAN (8) LUMINAIRES PER ZONE.
- ROOM LIGHTS (DESIGNATION 'd')
 - LIGHTS IN SECONDARY DAYLIGHT ZONE (DZ2) - DIM CONTROLLED WITH PHOTOCELL - TRIGGER LEVEL 2. LIGHTS TO BE PROGRAMMED TO OPERATE TOGETHER AS (1) ZONE. NO MORE THAN (8) LUMINAIRES PER ZONE.
- ALL LIGHTS SHALL BE CONTROLLED VIA 0-10V DIMMING.
- DIMMER SWITCH 1 CONTROL STATION
 - BUTTON 1 'a' -
 - LABEL: ON/OFF; UP/DOWN
 - FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
 - BUTTON 2 'b' -
 - LABEL: ON/OFF; UP/DOWN
 - FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
 - BUTTON 1 'c' -
 - LABEL: ON/OFF; UP/DOWN; PHOTO CELL ENABLED
 - FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
 - BUTTON 1 'd' -
 - LABEL: ON/OFF; UP/DOWN; PHOTO CELL ENABLED
 - FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
- CONTROLLED RECEPTACLES TO BE CONNECTED TO A RELAY FOR TIME CLOCK ON/OFF FUNCTION.

INDIVIDUAL ROOM LIGHTING CONTROLS

- OFFICES
 - LIGHT FIXTURES SHALL HAVE AN OCCUPANCY SENSOR AND PHOTOCELL. LIGHTS SHALL BE PROGRAMMED TO OPERATE TOGETHER.
 - A DIMMER SWITCH SHALL BE PROVIDED ON THE WALL TO ALLOW ADJUSTMENT OF THE LIGHTING LEVEL.
 - SENSORS SHALL BE SET TO VACANCY MODE SO THAT THE USER IS REQUIRED TO PRESS A BUTTON ON THE WALL STATION TO TURN ON THE LIGHTS.
- CONTROLLED RECEPTACLES TO BE CONNECTED TO A RELAY FOR TIME CLOCK ON/OFF FUNCTION.

HALLWAYS/RESTROOMS

- LIGHTS CONTROLLED BY TIME CLOCK OR EMCS SYSTEM.
- OCCUPANCY SENSOR OVERRIDE TO 'ON' UPON AFTER HOURS ACTIVATION.
- OCCUPANCY SENSORS TO REDUCE LIGHTING LEVEL TO 50% DURING NORMAL OPERATION TIME UPON NO ACTIVITY AFTER 15 MINUTES, EXCEPT FOR LIGHTS ON EMERGENCY INVERTER WHICH SHALL REMAIN FULL ON DURING SCHOOL HOURS.

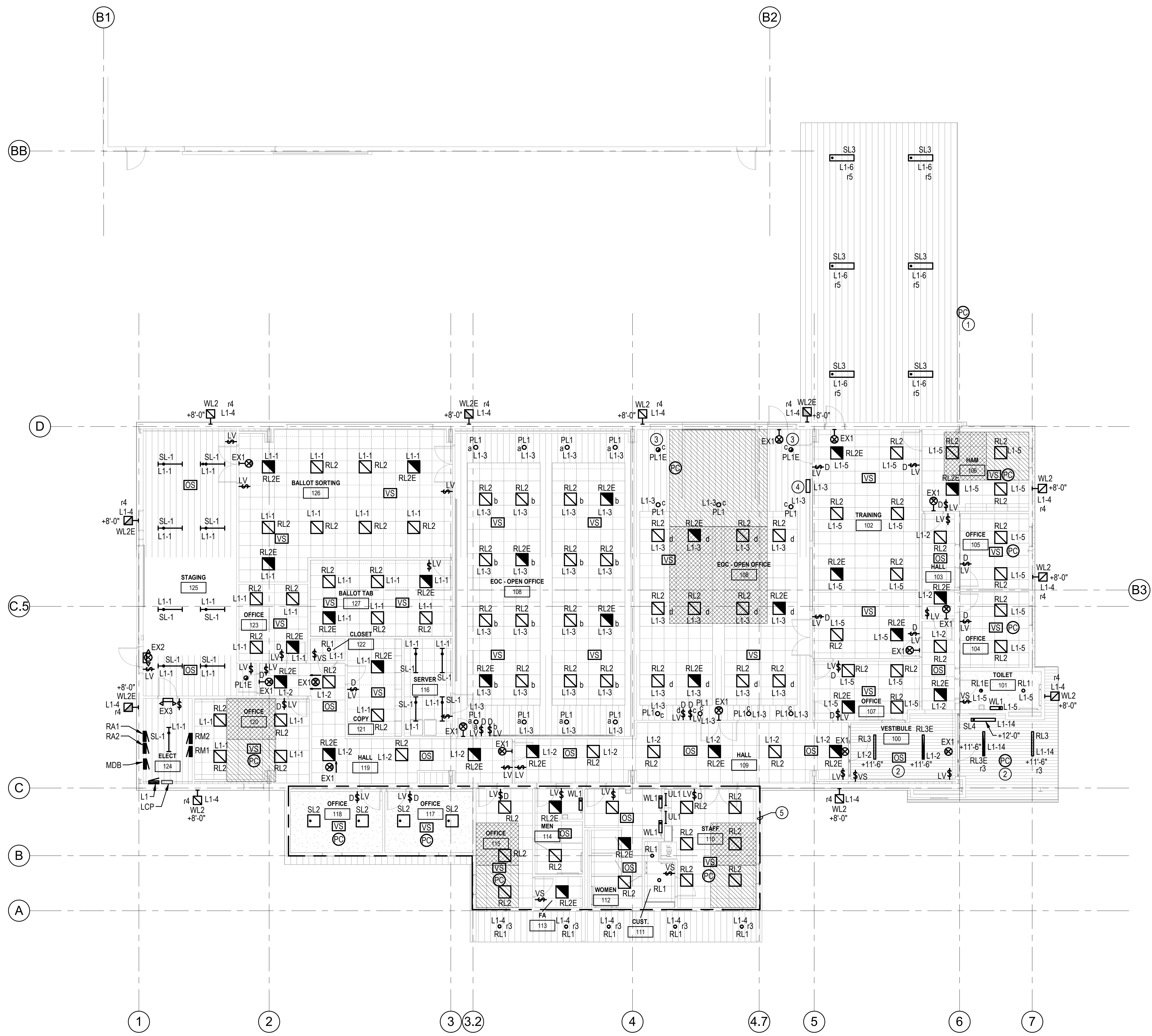
EXTERIOR LIGHTING CONTROL RELAY SCHEDULE "LCP"

EXTERIOR AREA OF CONTROL	PANEL	CIRCUIT #	TIME CLOCK CONTROLLE	PHOTOCELL CONTROLLED	RELAY NUMBER	NOTES
EXTERIOR LIGHTING -WALKWAY BOLLARD LIGHTS	L1	8	OFF at 11:00 pm	ON at dawn & dusk	r1	VERIFY OPERATION SEQUENCE AND TIMES WITH OWNER
FLAG POLE LIGHTS	L1	10		ON/OFF	r2	DUSK TO DAWN OPERATION
COVERED ENTRY CANOPY LIGHTS/FRONT EAVE	L1	14	OFF at 11:00 pm	ON at dawn & dusk	r3	VERIFY OPERATION SEQUENCE AND TIMES WITH OWNER
WALL MOUNTED LIGHTS	L1	14	OFF at 11:00 pm	ON at dawn & dusk	r4	VERIFY OPERATION SEQUENCE AND TIMES WITH OWNER
BACK CANOPY LIGHTS	L1	6	OFF at 11:00 pm	ON at dawn & dusk	r5	VERIFY OPERATION SEQUENCE AND TIMES WITH OWNER.



BID SET

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: C.T.



GENERAL NOTES

1. PROVIDE UNSWITCHED 'HOT LEG' TO EMERGENCY FIXTURES WITH BATTERY BACK-UP.
2. ALL AREAS WHERE THE UNDERSIDE OF THE ROOF IS EXPOSED, THE CONDUCTOR SHALL BE RAN IN EMT CONDUIT.
3. PROVIDE DIMMING CONTROL WIRES TO ALL LIGHT FIXTURES.
4. CONNECT ALL EXIT SIGNS AND EGRESS LIGHTING TO THE LIGHTING CIRCUIT WITHIN EACH ROOM.

CONSTRUCTION NOTES

1. MOUNT PHOTOCELL ON EXTERIOR SIDE EDGE OF CANOPY.
2. COORDINATE MOUNTING OF LIGHTS WITH WOOD CEILING INSTALLER.
3. CONNECT LIGHT TO AN EMERGENCY LIGHTING INVERTER.
4. PROVIDE A 100VA EMERGENCY LIGHTING INVERTER FOR TYPE PL1E LIGHTS. MOUNT UP HIGH ON WALL APPROX. 3'-0" ABOVE CEILING PLANE. (BODINE ELI-S-100 OR EQUAL).
5. CONNECT ALL LIGHT FIXTURES IN THIS AREA TO CIRCUIT L1-5.

BAUARC
ARCHITECTURE

1230 BAY STREET
PORT ORCHARD, WA
98366
206 406 0522



KCDEM TENANT IMPROVEMENT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

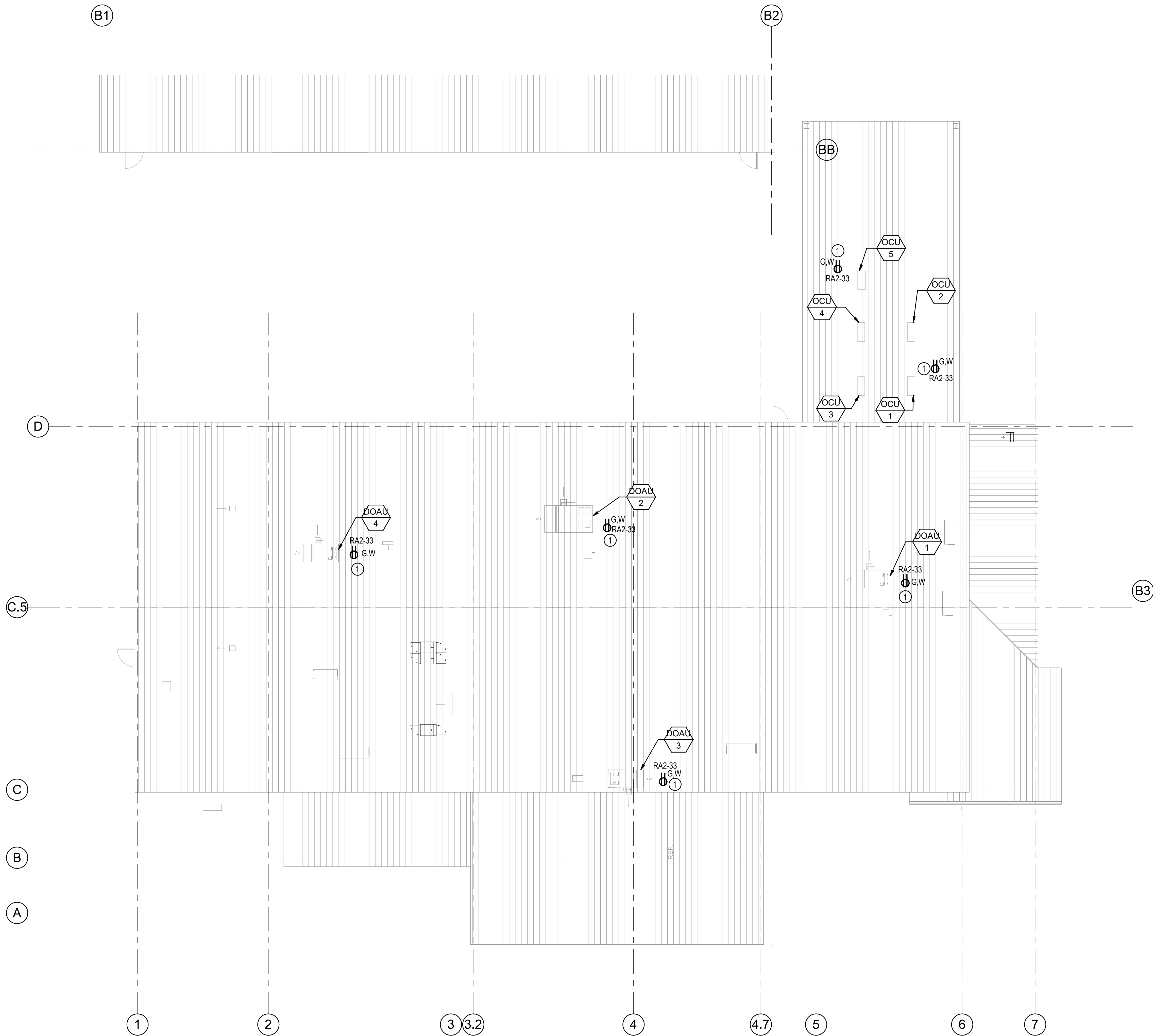
REVISION SCHEDULE	

BID SET
DATE: JUL 07, 2023
BA NO: 2021.03
CHECKED: CT

LEVEL 1 LIGHTING PLAN

E2.01

1 LEVEL 1 LIGHTING PLAN
1/8" = 1'-0"



CONSTRUCTION NOTES
 ① MOUNT RECEPTACLE WITHIN 25' OF THE MECHANICAL UNITS.

BAUARC
 ARCHITECTURE

1230 BAY STREET
 PORT ORCHARD, WA
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 206 406 0522

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KCDEM TENANT IMPROVEMENT
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REVISION SCHEDULE	

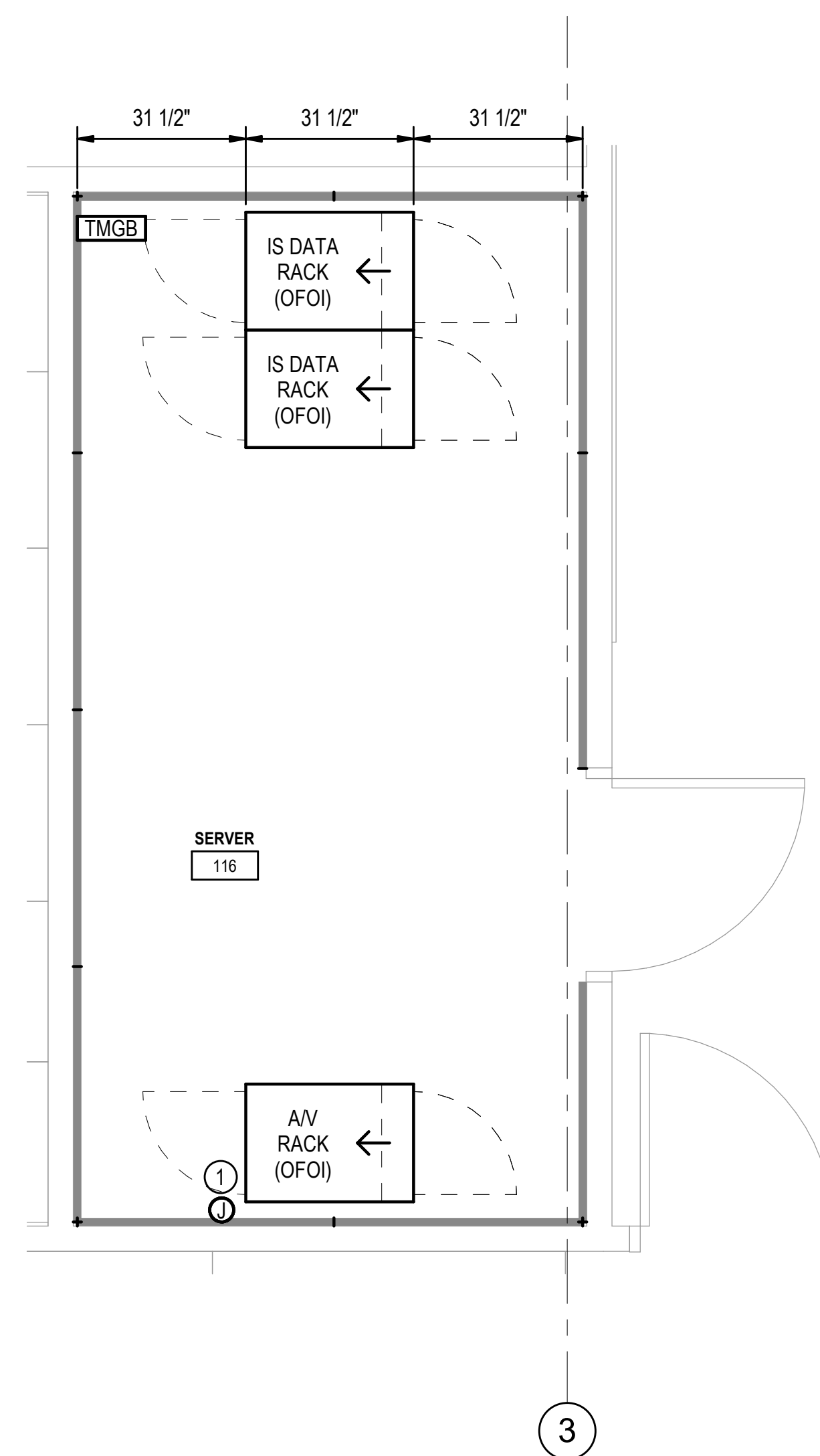
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ROOFTOP POWER PLAN
E3.02

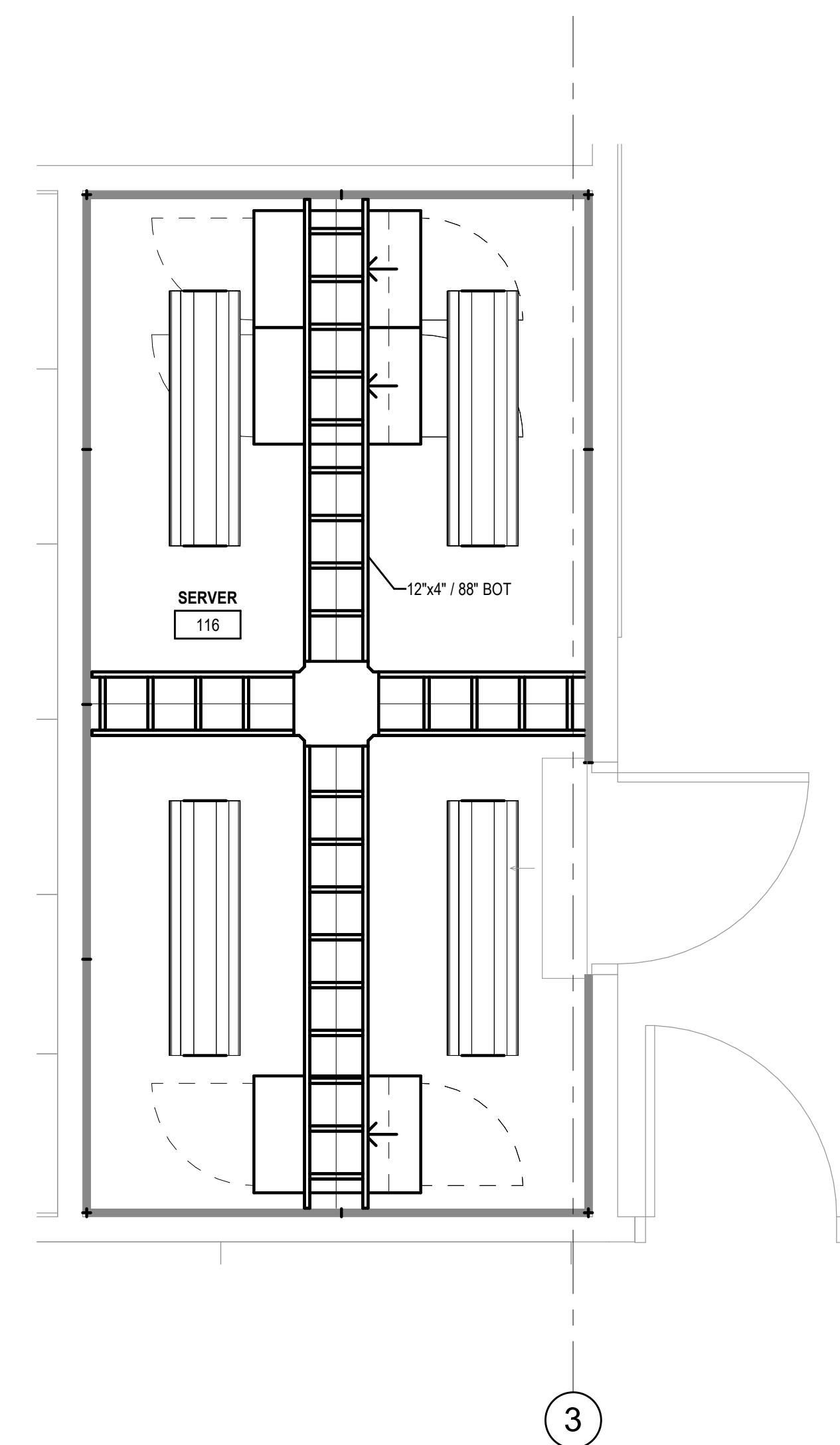
① **ROOFTOP POWER PLAN**
 1/8" = 1'-0"

CONSTRUCTION NOTES

- ① PROVIDE 12"X12"X4" RECESSED JUNCTION BOX FOR AV RACK. COORDINATE LOCATION WITH OWNER PRIOR TO ROUGH IN. SEE SHEETS E0.01 AND E4.01 FOR ADDITIONAL INFORMATION.



① ENLARGED SYSTEMS PLAN - SERVER ROOM - LOWER
1/2" = 1'-0"



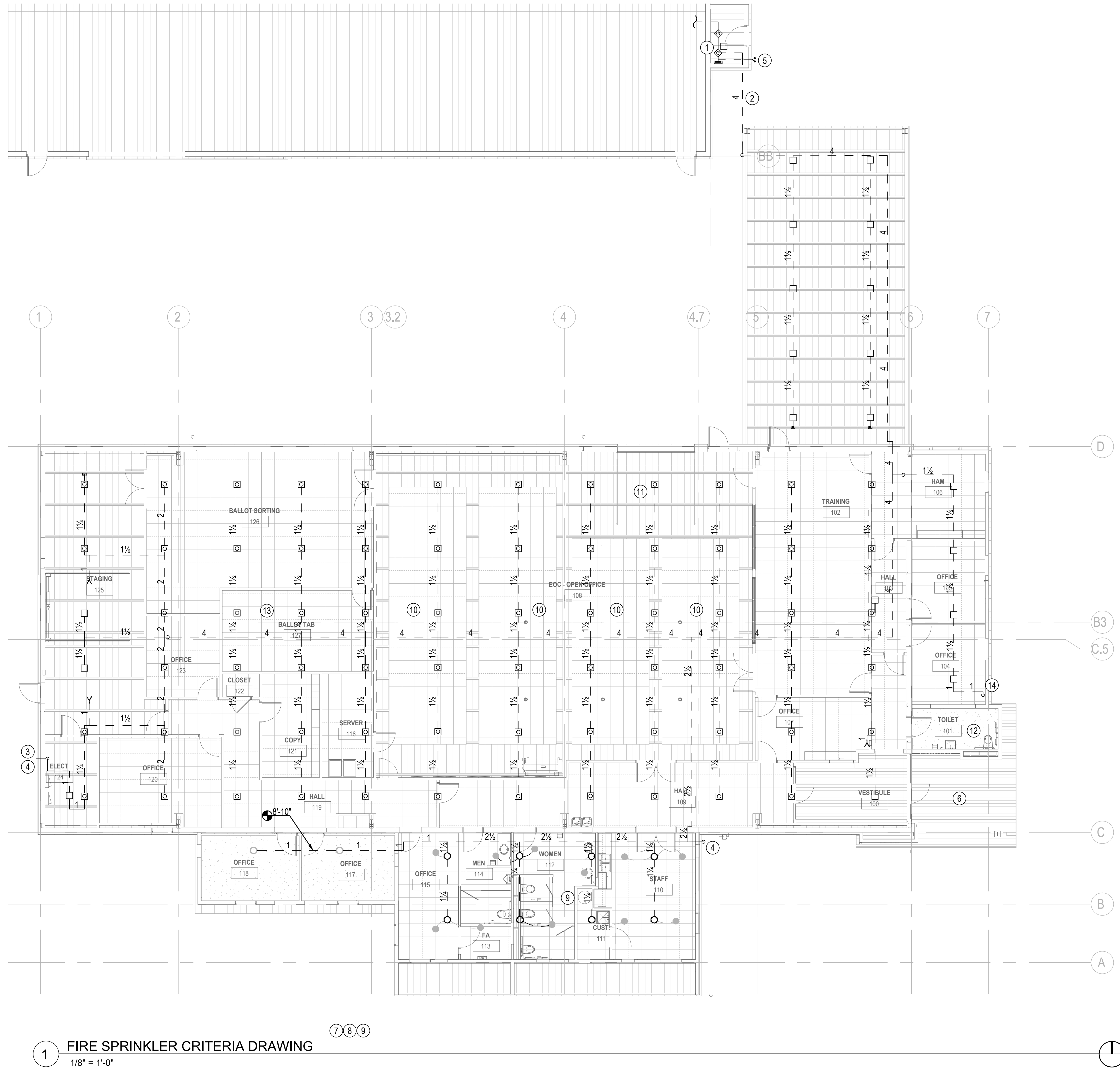
② ENLARGED SYSTEMS PLAN - SERVER ROOM - UPPER
1/2" = 1'-0"

KCDEM TENANT IMPROVEMENT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

REVISION SCHEDULE	

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ENLARGED SYSTEMS PLANS
E4.21



1 FIRE SPRINKLER CRITERIA DRAWING
1/8" = 1'-0"

FIRE PROTECTION GENERAL NOTES

1. THE FIRE SPRINKLER CONTRACTOR SHALL PERFORM MODIFICATIONS AND ADDITIONS TO THE BUILDING'S EXISTING DRY PIPE SPRINKLER SYSTEM, IN ACCORDANCE WITH NFPA #13 AND CITY OF BREMERTON STANDARDS. CITY OF BREMERTON DEFERRED FIRE SPRINKLER DESIGN, PERMIT, AND INSPECTIONS, AND TESTING SHALL BE BY THE DESIGN-BUILD FIRE SPRINKLER CONTRACTOR
2. RISER SIGNAGE INDICATES PREVIOUS SYSTEM CONFIDENCE TESTING INCLUDING "FULL TRIP" WAS IN AUGUST 2022.
3. THIS SHEET SHOWS THE ROUTING OF THE EXISTING SPRINKLER SYSTEM (INSTALLED IN 2021) BASED ON FOX FIRE SPRINKLER AS-BUILT INFORMATION SUPERIMPOSED ON THE NEW REFLECTED CEILING PLAN. THE CONTRACTOR SHALL CONFIRM ALL INFORMATION.
4. EXISTING RISER PLACARD INDICATES ORIGINAL FLOW TEST INFORMATION TO BE 67 PSI STATIC, RESIDUAL PRESSURE 50 PSI WHILE FLOWING 1,469 GPM. TEST HYDRANT WAS HYD #3235 SOUTH IF BUILDING.
5. THE EXISTING DRY SYSTEM WAS CALCULATED AT NFPA #13 ORDINARY HAZARD GROUP 2, (0.20 GPM/SQ. FT. OVER 1,950 SQ. FT.), WITH A B.O.R. DEMAND OF 460 GPM AT 43 PSI, WITH A 20.3% SAFETY FACTOR, AND LIGHT HAZARD (0.10 GPM/SQ. FT. OVER 1,250 SQ. FT.), WITH A B.O.R. DEMAND OF 223 GPM AT 38 PSI WITH A 32.6% SAFETY FACTOR.
6. BUILDING INTERIOR TO BE CONDITIONED AT A MINIMUM 40°F TEMPERATURE. STANDARD PENDENT SPRINKLERS MAY BE UTILIZED ON RETURN-BENDS.
7. PENDENT SPRINKLERS SHALL BE INTERMEDIATE-TEMPERATURE WHITE PENDENT SPRINKLERS WITH WHITE RECESSED ESCUTCHEONS.
8. SPRINKLERS IN ACT CEILINGS SHALL BE LOCATED AT CENTER-OF-TILE.
9. HANGARS SHALL NOT ATTACHED DIRECTLY TO METAL DECK WITHOUT APPROVAL FROM STRUCTURAL ENGINEER.
10. NEW SPRINKLER PIPING SHALL BE BLACK STEEL AND SHALL BE MINIMUM SCHEDULE 10 FOR GROOVED PIPING, SCHEDULE 40 FOR THREADED.
11. NEW SPRINKLER PIPE BRACING, RESTRAINT, AND CLEARANCES SHALL BE IN ACCORDANCE WITH NFPA #13 AND ASCE 7.
12. EXISTING SEISMIC BRACING CALCULATIONS WERE CALCULATED FROM SPECTRAL RESPONSE ACCELERATION $S_s(1.6150)$

FIRE PROTECTION CONSTRUCTION NOTES

- ① LOCATION OF EXISTING 4 IN. DIAMETER DRY-PIPE SYSTEM RISER
- ② 4 IN. DRY SYSTEM SUPPLY MAIN TO SYSTEM PIPING
- ③ LOCATION OF EXISTING INSPECTORS TEST
- ④ LOCATION OF EXISTING DRUM DRIP AUXILIARY DRAIN.
- ⑤ LOCATION OF EXISTING 4" 2.5" 2.5" FIRE DEPARTMENT CONNECTION
- ⑥ EXTEND SPRINKLER PROTECTION BENEATH NEW ENTRY CANOPY/OVERHANG
- ⑦ EXTEND SPRINKLER PROTECTION THROUGHOUT NEW CEILINGS AND ROOMS (ALL SPACES TO BE MAINTAINED AT MINIMUM 40°F.)
- ⑧ ADD AND/OR RELOCATE UPRIGHT SPRINKLERS FOR NEW FULL-HEIGHT WALLS
- ⑨ ADD AND/OR RELOCATE PENDENT SPRINKLERS FOR NEW AND MODIFIED WALLS AND CEILINGS.
- ⑩ PROVIDE SPRINKLERS ABOVE AND BELOW CEILING CLOUDS PER NFPA #13. ADJUST COVERAGE ABOVE CEILING AS WARRANTED.
- ⑪ PROVIDE SPRINKLER PROTECTION BENEATH NEW SECTIONAL DOOR.
- ⑫ ADD SPRINKLER ABOVE (ATTIC) AND BELOW (RESTROOM) CEILING OF NEW ADDITION.
- ⑬ ADD SPRINKLERS TO PROTECT COMBUSTIBLE VOID SPACE ABOVE. SEE DETAIL 2 & 3 ON SHEET A3.01
- ⑭ RELOCATE EXISTING DRUM DRIP TO BE CONCEALED WITHIN THE WALL OF TOILET 101. FIRE SPRINKLER CONTRACTOR TO PROVIDE ACCESS PANEL COORDINATE EXACT LOCATION WITH GENERAL CONTRACTOR AND ARCHITECT.

FIRE PROTECTION LEGEND

SYMBOL	DESCRIPTION
---	EXISTING DRY SPRINKLER SYSTEM PIPING
⊠	EXISTING 3/4-IN. 8.0K QUICK-RESPONSE BRONZE UPRIGHT SPRINKLER
○	EXISTING 1/2-IN. 5.6K QUICK-RESPONSE BRONZE UPRIGHT SPRINKLER
●	EXISTING 1/2-IN. 5.6K QUICK-RESPONSE CONCEALED PENDENT SPRINKLER